



**CITY OF BOULDER  
BOARD OF ZONING ADJUSTMENT  
MEETING AGENDA**

**DATE:** Tuesday, October 8, 2024

**TIME:** 4 p.m.

**PLACE:** Virtual Meeting

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NOTICE IS HEREBY GIVEN THAT A PUBLIC HEARING WILL BE GIVEN BY THE CITY OF BOULDER, BOARD OF ZONING ADJUSTMENT, AT THE TIME AND PLACE SPECIFIED ABOVE. ALL PERSONS, IN FAVOR OF OR OPPOSED TO OR IN ANY MANNER INTERESTED IN ANY OF THE FOLLOWING VARIANCES FROM THE LAND USE REGULATIONS, TITLE 9, BOULDER REVISED CODE 1981; MAY ATTEND SUCH HEARING AND BE HEARD IF THEY SO DESIRE. (APPLICANT OR REPRESENTATIVE MUST APPEAR AT THE MEETING.)

**1. CALL TO ORDER**

**2. BOARD HEARINGS**

**A. Docket No.: BOZ2024-00009**

**Address:** 2050 Mesa Drive

**Applicant:** Calisle Dean

**Bulk Plane Variance:** [*Returning Item Issued a Continuance at the August 13, 2024 BOZA Meeting*] As part of a proposal to construct a new single-family house on a substandard-sized vacant lot, the applicant is requesting a variance to the bulk plane requirements for a principal structure in the RMX-1 zoning district. The revised design results in a vertical bulk plane projection beyond the plane at the west side of the proposed house by approximately 4 feet (*at the greatest vertical measurement*). Section of the Land Use Code to be modified: Section 9-7-9, BRC 1981.

**B. Docket No.: BOZ2024-00011**

**Address:** 1313 7<sup>th</sup> Street

**Applicant:** Fred & Lisa Corrado

**Setback Variance:** As part of a proposal to reconstruct and increase in height a portion of the home's roof, the applicant is requesting a variance to both the rear (west) and interior side (north) setback standards for a principal structure in the RL-1 zoning district. This home is located on a substandard-sized lot and no new/additional floor area is proposed. The resulting rear setback will be approximately 3.9 feet (*at the closest point*) where 25 feet is required and approximately 3.9 feet exists today. The resulting interior side setback will be approximately 3.6 feet (*at the closest point*) where 5 feet is required and approximately 3.6 feet exists today. Section of the Land Use Code to be modified: Section 9-7-1, BRC 1981.

**C. Docket No.: BOZ2024-00012**

**Address:** 2715 Elm Avenue

**Applicant:** Kyle Luh

**Parking Setback Variance:** As part of a proposal to recognize and establish conforming off-street parking for the single-family home onto an existing driveway with access off Elm Avenue - a property that currently does not have conforming parking due to a prior attached garage conversion - the applicant is requesting a variance to the front yard landscape setback standards for parking in the RL-1 zoning district. The subject 9-foot-wide by 19-foot-deep parking space will be located approximately 13.7 feet from the front/south property line where 25 feet is required and no conforming or recognized parking exists at this location today. Sections of the Land Use Code to be modified: Sections 9-7-1 & 9-9-6, BRC 1981.

**D. Docket No.: BOZ2024-00013**

**Address:** 435 Dewey Avenue

**Applicant:** Kim Parsons

**Setback Variance:** As part of a proposal to reconstruct and expand a portion of the home recently damaged by a fire, the applicant is requesting a variance to the interior side (west) setback standards for a principal structure in the RL-1 zoning district. The resulting side setback will be approximately 2.2 feet where 5 feet is required and approximately 2.2 feet exists today. Section of

### 3. GENERAL DISCUSSION

- A. Approval of Minutes:
- B. Matters from the Board
- C. Matters from the City Attorney
- D. Matters from Planning and Development Services

### 4. ADJOURNMENT

For more information call Robbie Wyler ([wylerr@bouldercolorado.gov](mailto:wylerr@bouldercolorado.gov)), Brian Holmes ([holmesb@bouldercolorado.gov](mailto:holmesb@bouldercolorado.gov)) or Thomas Remke ([remket@bouldercolorado.gov](mailto:remket@bouldercolorado.gov)). Board packets are available after 4 p.m. Friday prior to the meeting, online at [www.bouldercolorado.gov](http://www.bouldercolorado.gov).  
\* \* \* SEE REVERSED SIDE FOR MEETING GUIDELINES \* \* \*



BOZ2024-00009



BOZ2024-00011



BOZ2024-00012



BOZ2024-00013

**CITY OF BOULDER  
BOARD OF ZONING ADJUSTMENT  
MEETING GUIDELINES**

**CALL TO ORDER**

The board must have a quorum (three members present) before the meeting can be called to order.

**AGENDA**

The board may rearrange the order of the agenda or delete items for good cause. The board may not add items requiring public notice.

**ACTION ITEMS**

An action item requires a motion and a vote. The general format for hearing of an action item is as follows:

**1. Presentations**

- Staff presentation.\*
- Applicant presentation.\*Any exhibits introduced into the record at this time must be provided in quantities of seven to the Board Secretary for distribution to the board and admission into the record.
- Board questioning of staff or applicant for information only.

**2. Public Hearing**

Each speaker will be allowed an oral presentation.\*

- Speakers should introduce themselves, giving name and address. If officially representing a group, homeowners' association, etc., please state that for the record as well.
- Speakers are requested not to repeat items addressed by previous speakers other than to express points of agreement or disagreement. Refrain from reading long documents, and summarize comments wherever possible. Long documents may be submitted and will become a part of the official record. When possible, these documents should be submitted in advance so staff and the board can review them before the meeting.
- Speakers should address the Land Use Regulation criteria and, if possible, reference the rules that the board uses to decide a case.
- Any exhibits introduced into the record at the hearing must be provided in quantities of seven to the Board Secretary for distribution to the board and admission into the record.
- Citizens can send a letter to Planning and Development Services staff at 1739 Broadway, Boulder, CO 80302, two weeks before the board meeting, to be included in the Board packet. Correspondence received after this time will be distributed at the board meeting.

**3. Board Action**

- Board motion. Motions may take any number of forms. With regard to a specific development proposal, the motion generally is to either approve the project (with or without conditions), to deny it, or to continue the matter to a date certain (generally in order to obtain additional information).
- Board discussion. This is undertaken entirely by members of the board. The applicant, members of the public or city staff participate only if called upon by the Chairperson.
- Board action (the vote). An affirmative vote of at least three members of the board is required to pass a motion approving any action. If the vote taken results in a tie, a vote of two to two, two to one, or one to two, the applicant shall be automatically allowed a rehearing. A tie vote on any subsequent motion to approve or deny shall result in defeat of the motion and denial of the application.

**MATTERS FROM THE BOARD, CITY STAFF, AND CITY ATTORNEY**

Any board member, Planning and Development Services staff, or the City Attorney may introduce before the board matters, which are not included in the formal agenda.

**VIRTUAL MEETINGS**

For Virtual Meeting Guidelines, refer to <https://bouldercolorado.gov/boards-commissions/board-of-zoning-adjustments-boza-agenda> page for the approved Board of Zoning Adjustment Rules for Virtual Meetings.

\*The Chairperson, subject to the board approval, may place a reasonable time limitation on presentations.



**City of Boulder Planning and Development Services**  
 1101 Arapahoe Avenue • Boulder, CO 80306  
 Phone: 303-441-1880 • Web: boulderplandevop.net

# BOARD OF ZONING ADJUSTMENT (BOZA) VARIANCE APPLICATION FORM

**APPLICATION DEADLINE IS THE SECOND MONDAY OF EACH MONTH.  
 MEETING DATE IS 4PM (MST) ON THE SECOND TUESDAY OF THE FOLLOWING MONTH.**

\*Submittal of inaccurate or incomplete information and materials may result in rejection or delay of the application.\*

## GENERAL DATA

(To be completed in full by the applicant.)

- Street Address or General Location of Property: 2050 MESA DRIVE - BOULDER CO.
- Legal Description: Lot A Block \_\_\_\_\_ Subdivision UPLAND SUBDIVISION (Or attach description.)
- Lot Size: 4403 #
- Existing Use of Property: VACANT LOT ---
- Detailed Description of Proposal (Specific Variance[s] Requested Including All Pertinent Numerical Values (e.g.: Existing, Required and Proposed Setbacks for the Subject Setback Variance):  
MINOR SIDE YARD BULK PLANE ENCROACHMENT... SEE DRW'GS.

*Total gross floor area existing: <u>NA</u>	*Total gross floor area proposed: <u>2595 #</u>
*Total gross building coverage existing: <u>NA</u>	*Total gross building coverage proposed: <u>1790 #</u>
*Building height existing: <u>NA</u>	*Building height proposed: <u>34'</u>

\*See definitions in Section 9-16-1, B.R.C. 1981.

- ◆ **Name of Owner:** CALISLE DEAN
- ◆ **Address:** 1119 1<sup>ST</sup> AVE. Telephone: 206.343.0641
- ◆ **City:** SEATTLE State: WA. Zip Code: 98101 Email: \_\_\_\_\_
- ◆ **Name of Contact (if other than owner):** \_\_\_\_\_ Email: CDEAN4@MINDSPRING.COM
- ◆ **Address:** \_\_\_\_\_ Telephone: \_\_\_\_\_
- ◆ **City:** \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_ Email: \_\_\_\_\_

**APPLICATION TYPES (Check All That Apply For This Application)**

- Setback (BRC 9-7-1)
- Porch Setback & Size (BRC 9-7-4)
- Building Separation (BRC 9-7-1)
- Bulk Plane (BRC 9-7-9)
- Side Yard Wall Articulation (BRC 9-7-10)
- Building Coverage (BRC 9-7-11 or BRC 9-10)
- Floor Area Ratio (BRC 9-8-2)
- Parking in Front Yard Landscape Setback (BRC 9-7-1 & 9-9-6)
- Size and Parking Setback Requirements for Accessory Units (BRC 9-6-4)
- Cumulative Accessory Building Coverage (BRC 9-7-8)
- Mobile Home Spacing Variance (BRC 9-7-13)
- Use of Mobile Homes for Non-Residential Purposes (BRC 10-12-6)
- Solar Exception (BRC 9-9-17)
- Sign Variance (BRC 9-9-21)
- Fence and Wall Variance (BRC 9-9-15)



2050 Mesa supplemental narrative 09.09.2024

at the first review of this project [august 13 2024] it was agreed that all required criteria { [h] [1] [A] [B] [C] and [D] and [h] [5] [A] [B] [C] and [D] } had been met with the exception of [h] [1] [C] and [h] [5] [C].... this narrative explains why the project.... redesigned based on the continuance granted in the august 13th meeting.... now conforms to 1.C and 5.C....

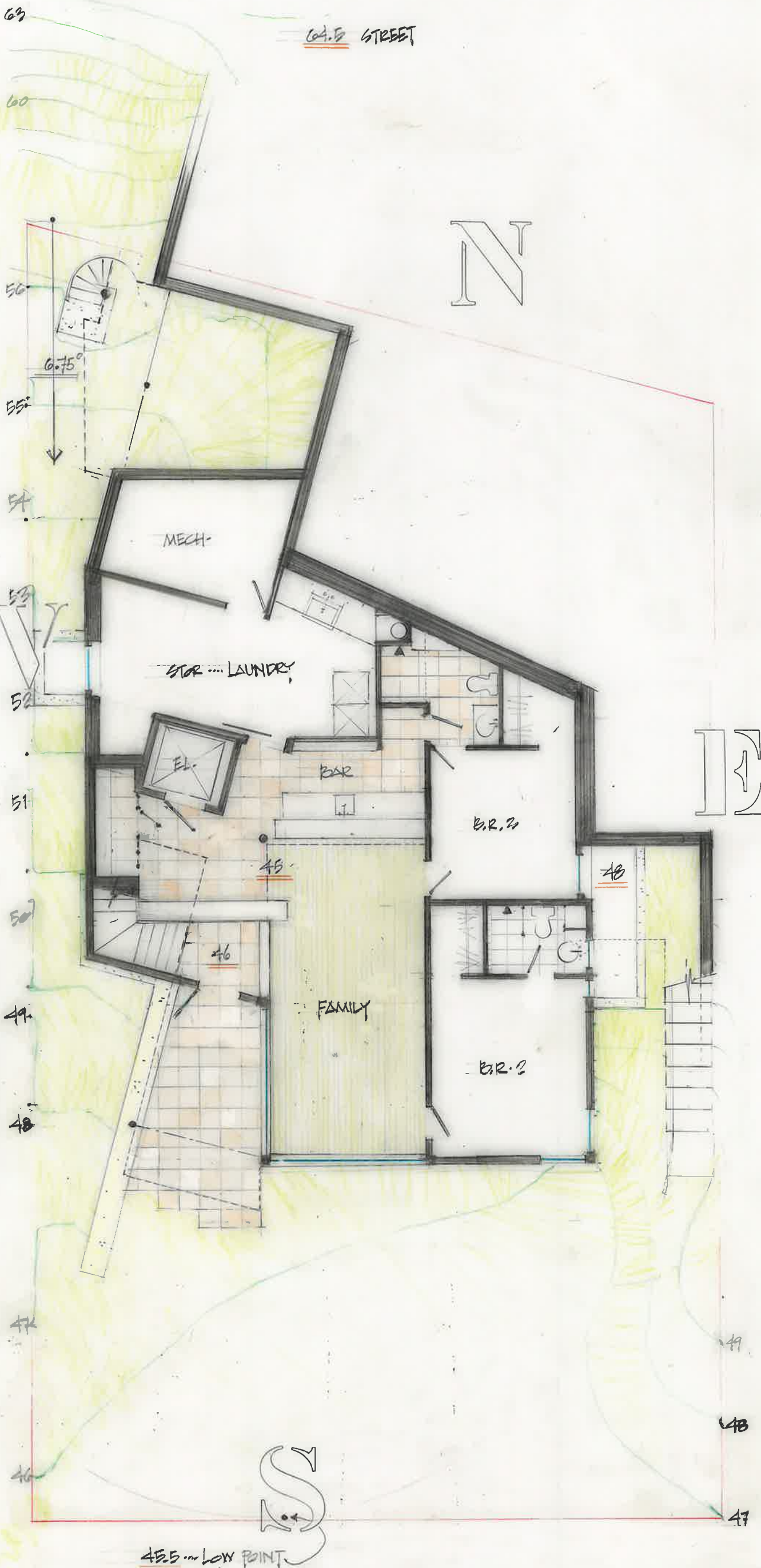
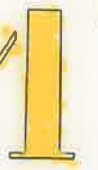
in the 1980s seven bluff street properties were granted PUDs and each were subdivided into two "non standard"lots: the original lot on bluff with existing house and the additional lot on mesa drive above.... 2050 mesa is the last to be built out....

this project began jan of 2019 with a program for a 2500 square foot 3 bedroom single family detached dwelling on a nonstandard lot in the RMX-1 zone.... the topography and size of the lot dictated the arrangement of prograded spaces along with the siting and massing of the building.... in june of 2019 this original design was submitted for site review requesting a height modification.... which in turn led to 4 1/2 years of negotiations with city staff and attorneys resulting in significant changes in design parameters.... the building was redesigned within the new parameters.... the topography and size of the property had necessitated multiple levels and the owner was now anticipating this to be his last home....it was decided to include an elevator in the program anticipating a future necessity.... this design.... with elevator.... was submitted to boza on aug 13th requesting a variance from the side yard bulk plane requirements.... the board recommended a continuance....

this submittal is a redesign of the aug 13th proposal.... the stair to the west of the elevator has been removed and the garage roofs were then modified.... the upper level roofs on the east side were changed to eliminate any encroachment into the east bulk plane.... the only remaining encroachment is roughly 30 square feet into the west bulk plane as a result of the upper 4 feet of the elevator shaft and its landing....both of which have been designed with minimum ceiling height per code....

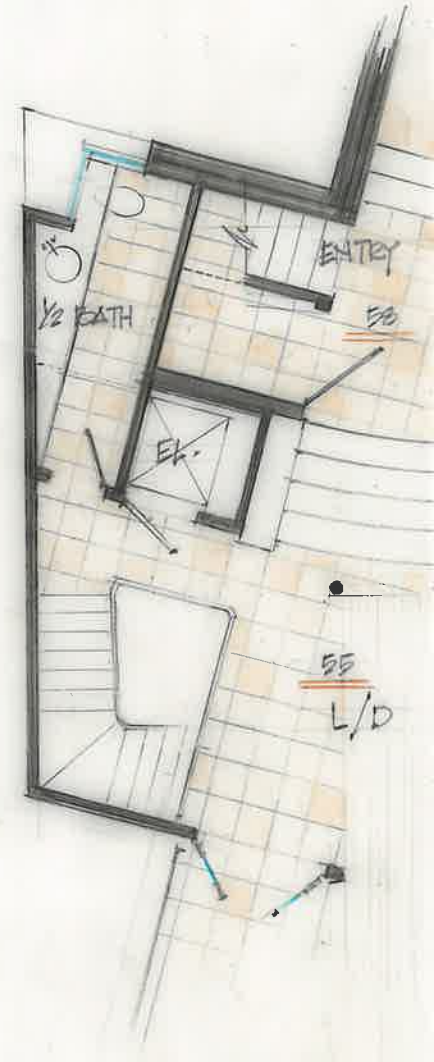
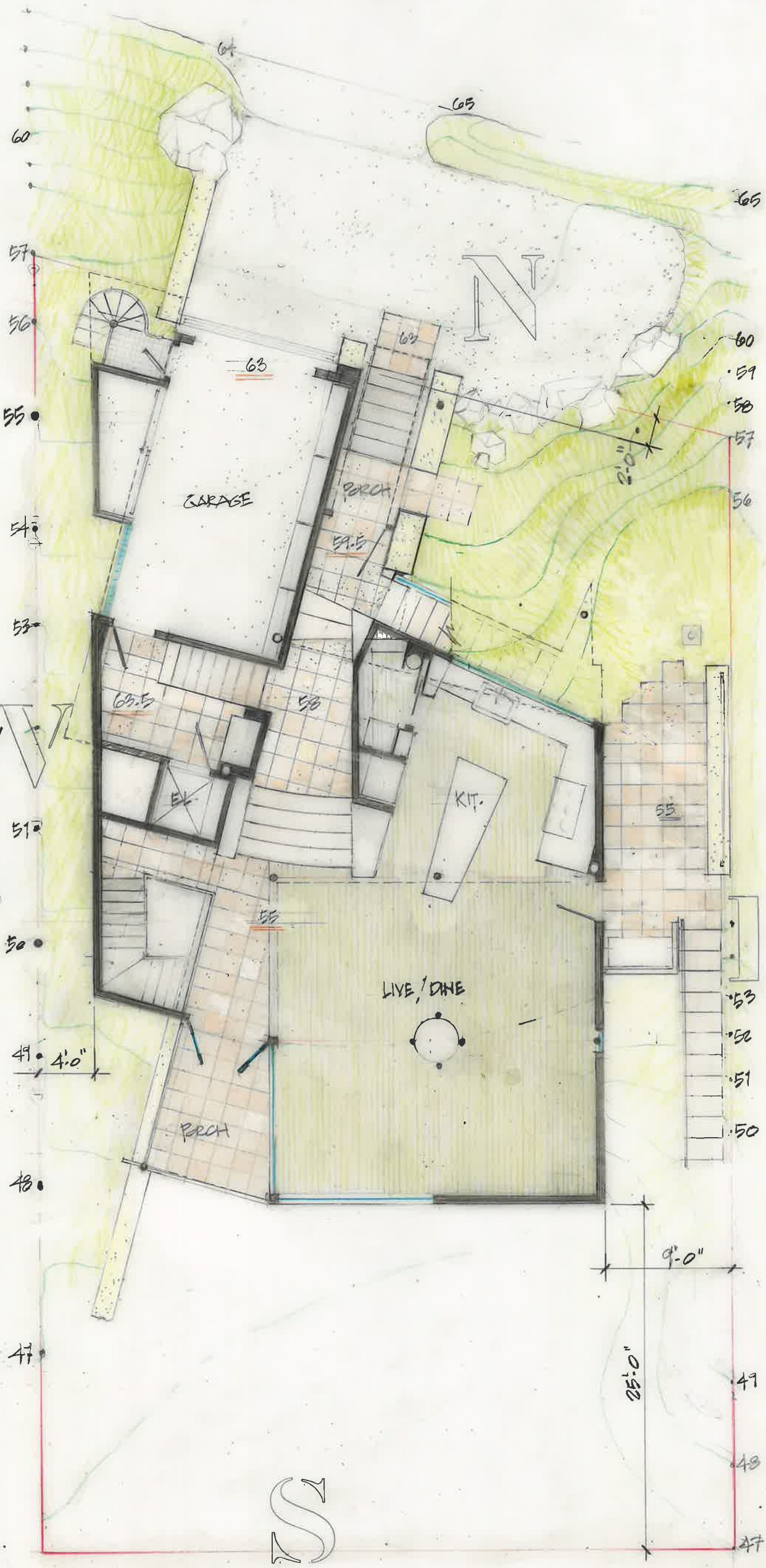
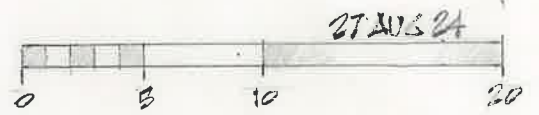
to avoid the remaining 30 square feet of side yard bulk plane encroachment requires relocating the elevator and its landing and as i have pointed out.... the difficulty of the site has ultimately dictated the location of the elevator.... which must serve the garage level and the three main levels of the house.... the property cannot reasonably be developed in conformity with the provisions of the side yard bulk plane ordinance....this is the minimum variance that will afford relief and is the least modification of the provision.... the remaining 30 square feet of encroachment does not substantially impair the reasonable use and enjoyment of the property to the west

christopher melton architect

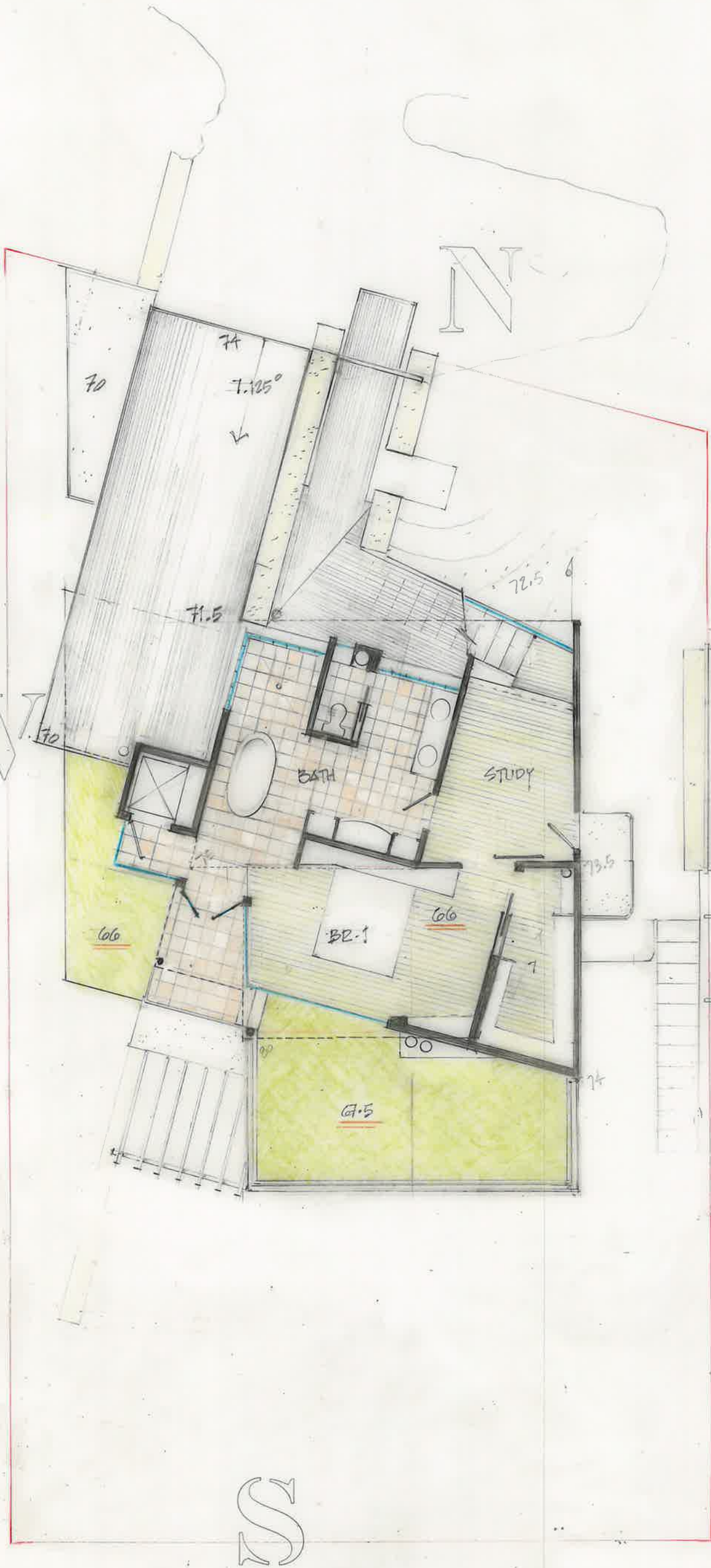


LOWER LEVEL 1/8"



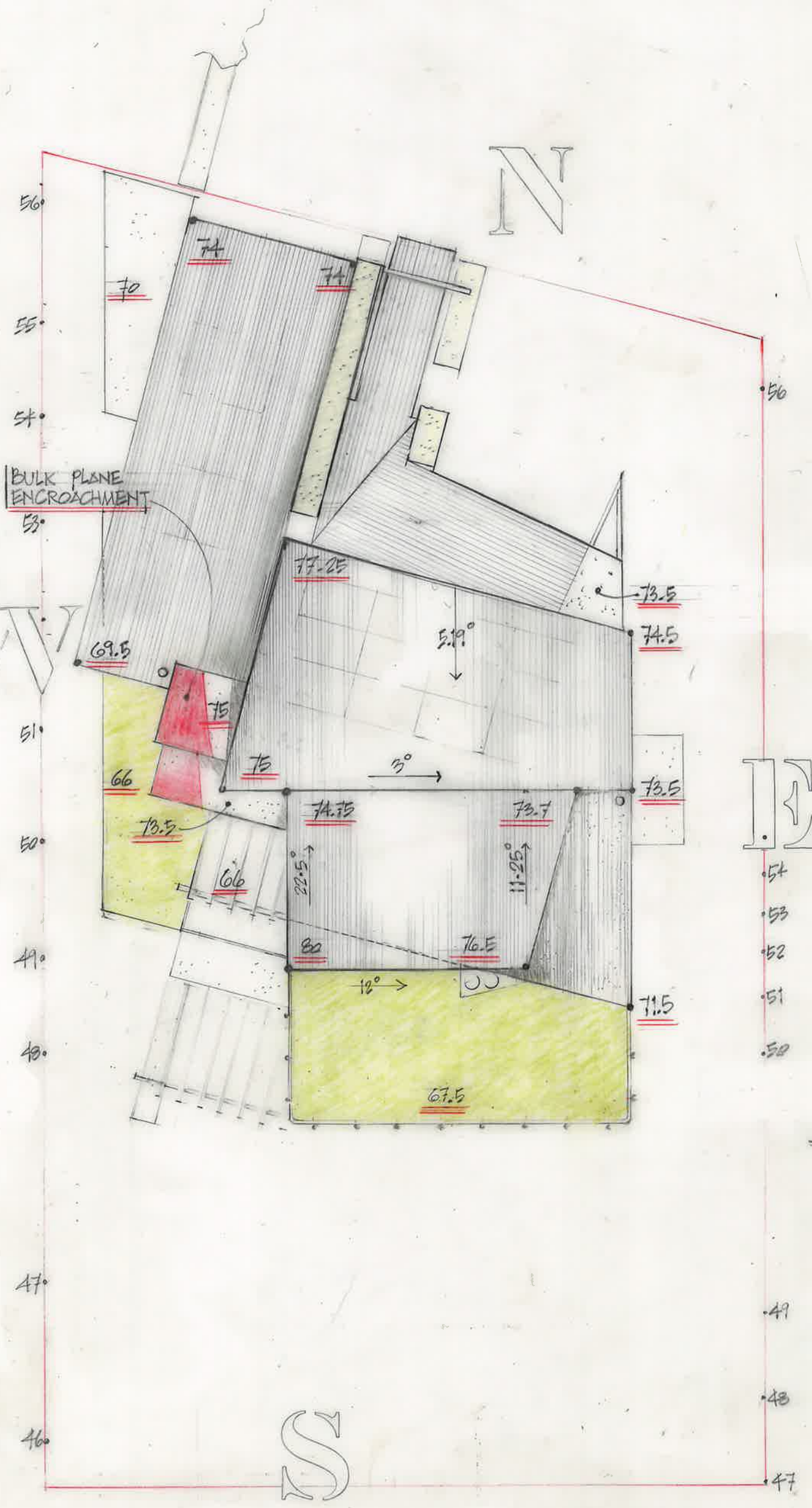
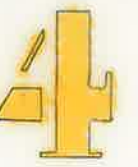


MID LEVEL 1/8"

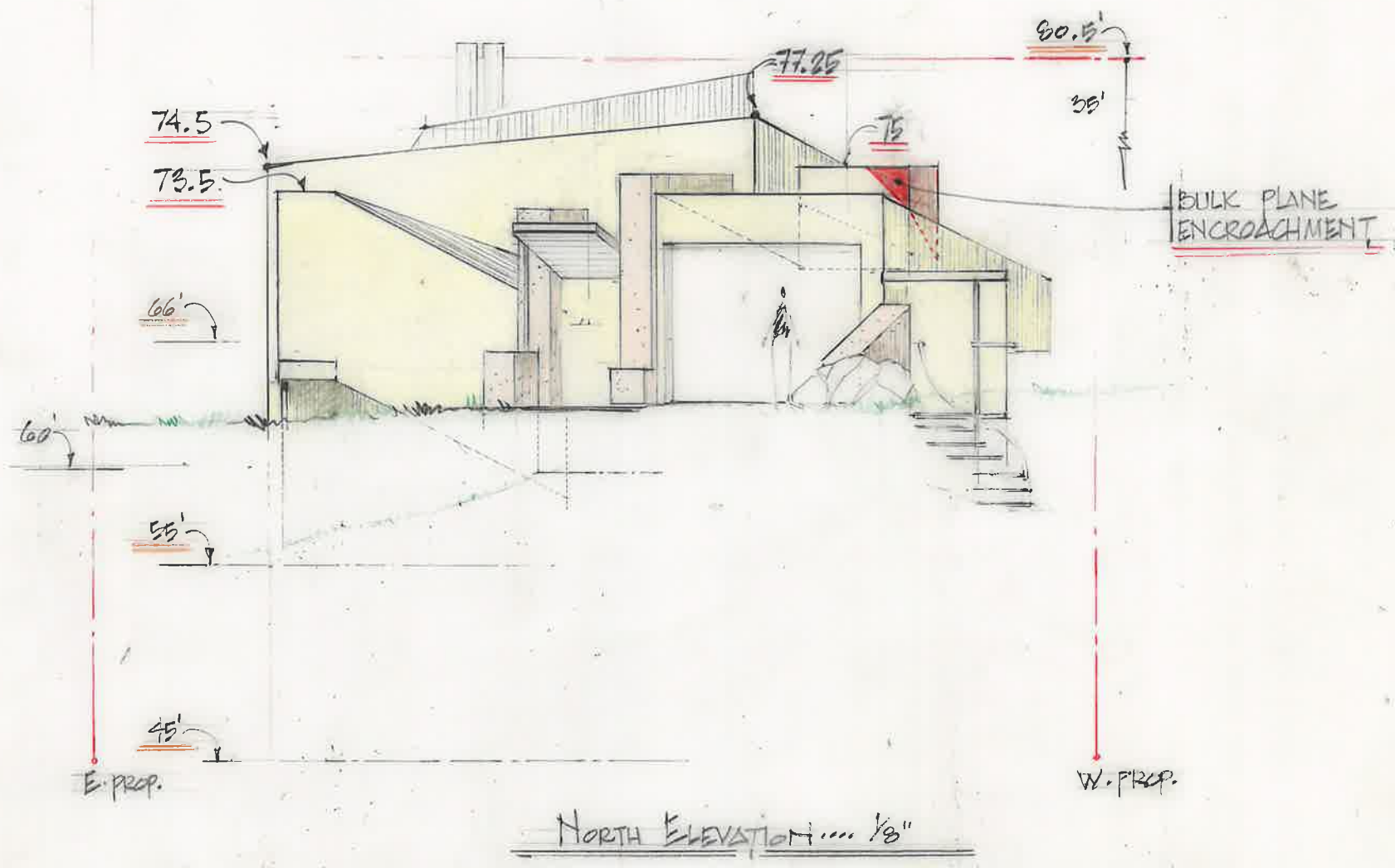
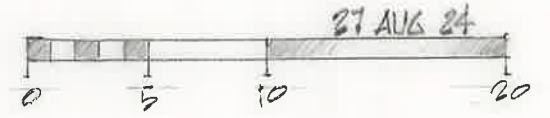


6.7  
6  
72.9

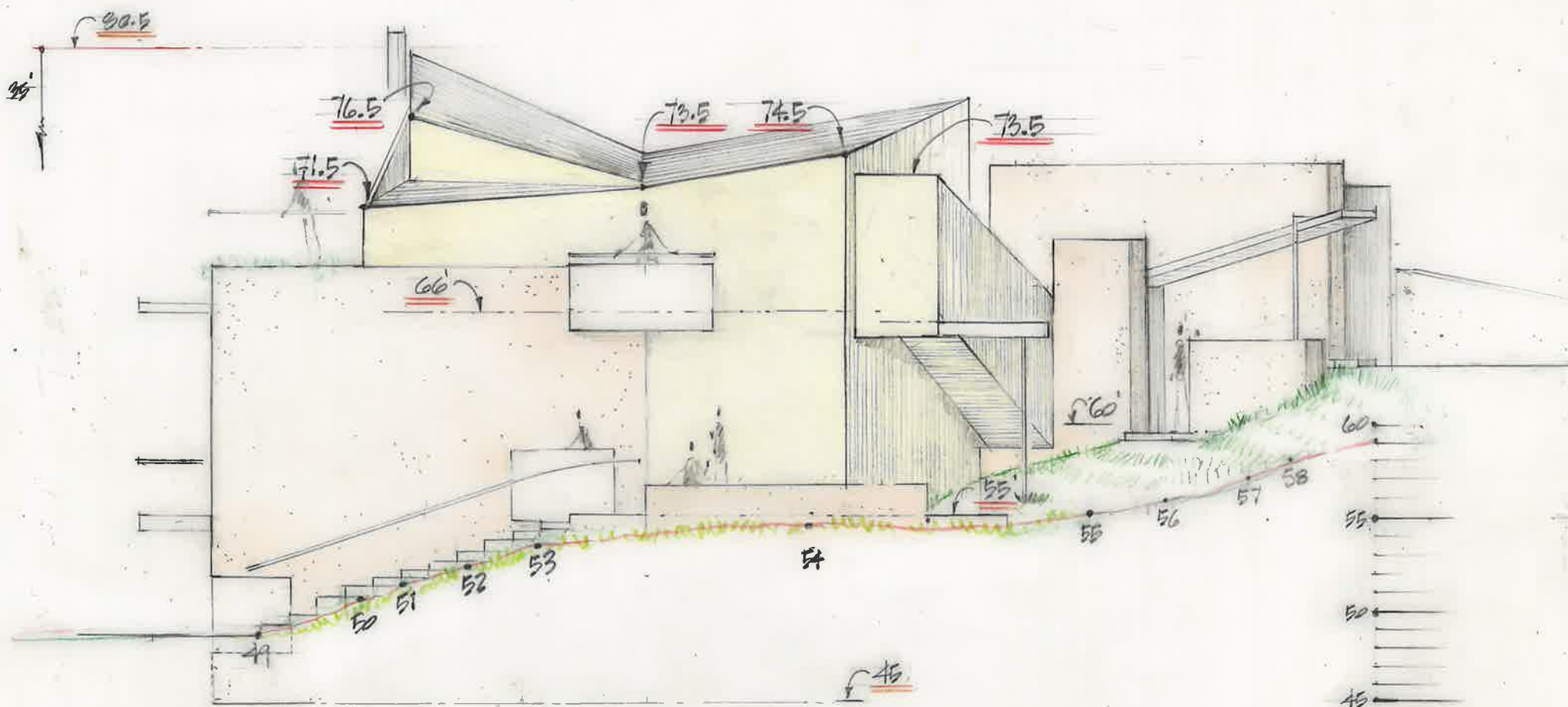
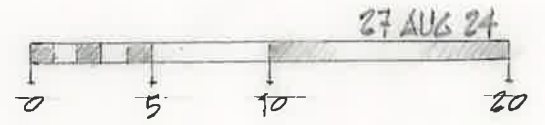
UPPER LEVEL 1/8"



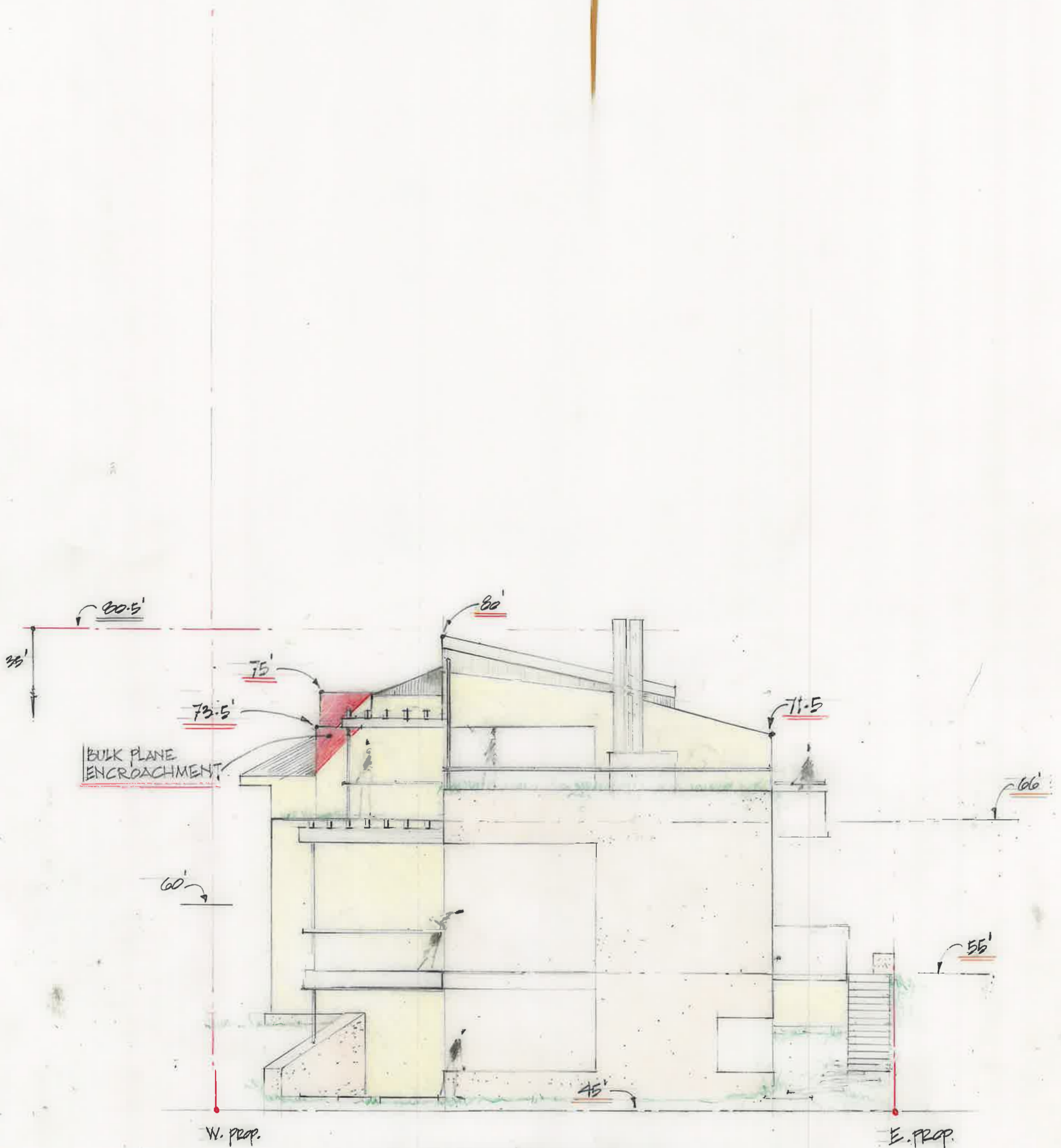
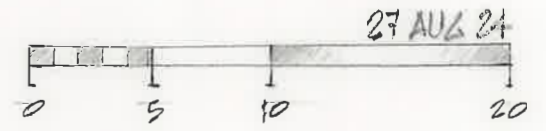
Roof Plan 1/8"



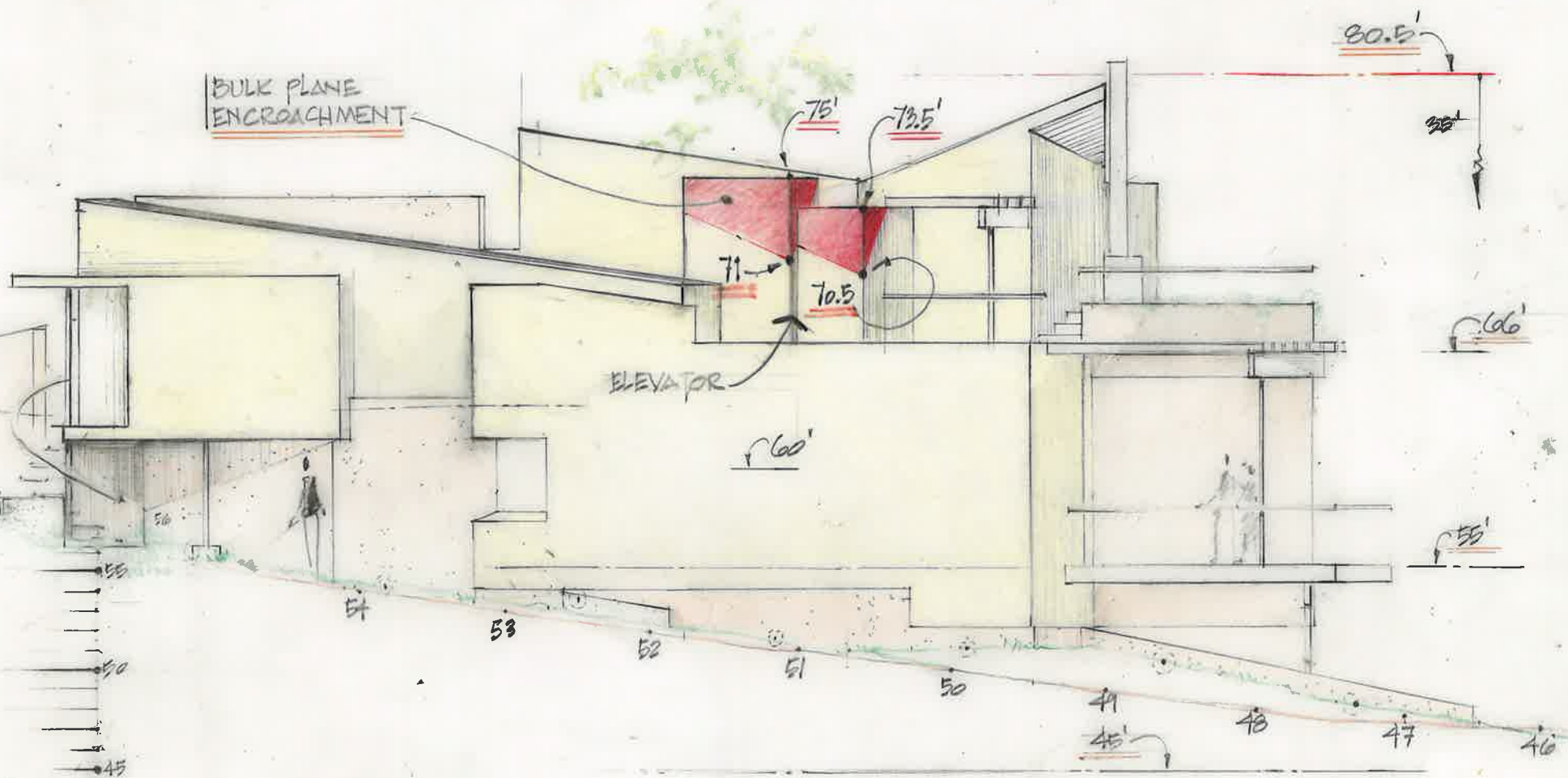
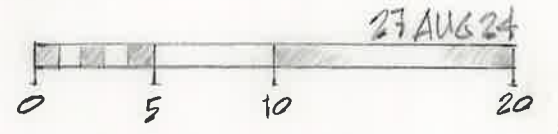
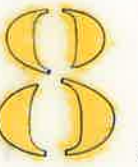
NORTH ELEVATION 1/8" = 10'



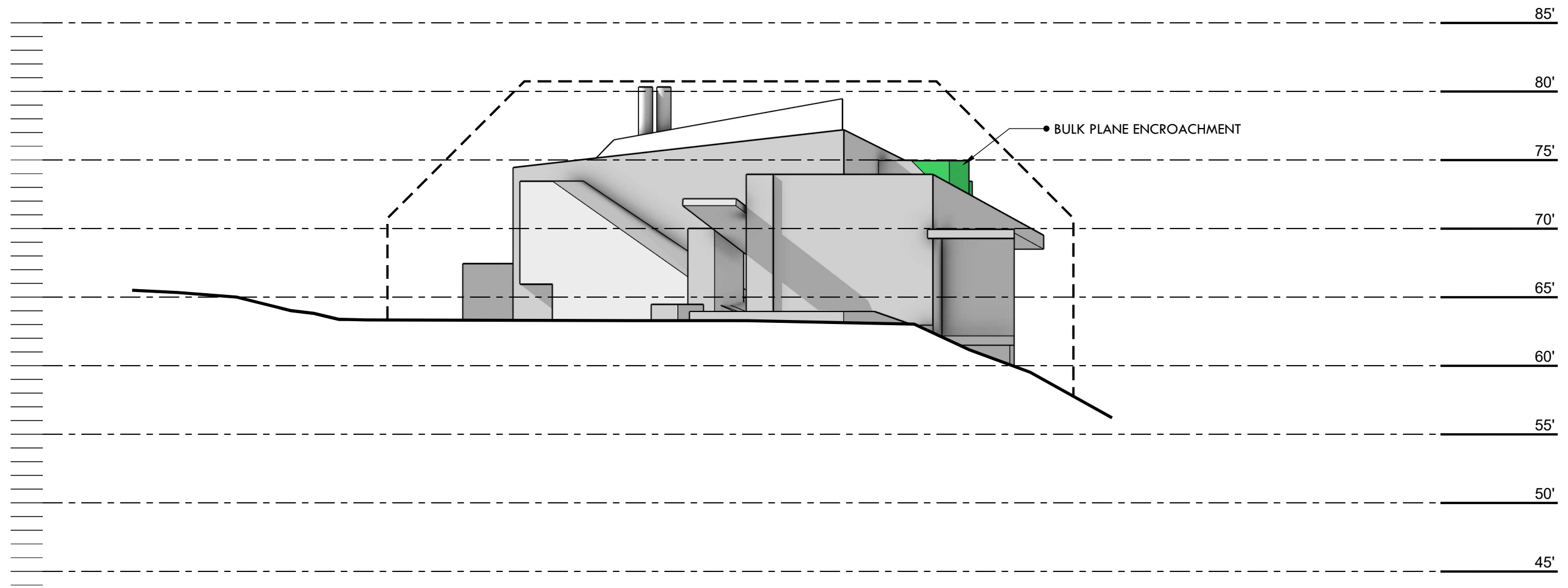
EAST ELEVATION 1/8"



SOUTH ELEVATION 1/8"

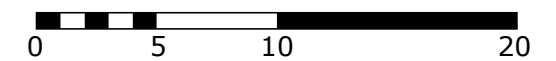


WEST ELEVATION 1/8"

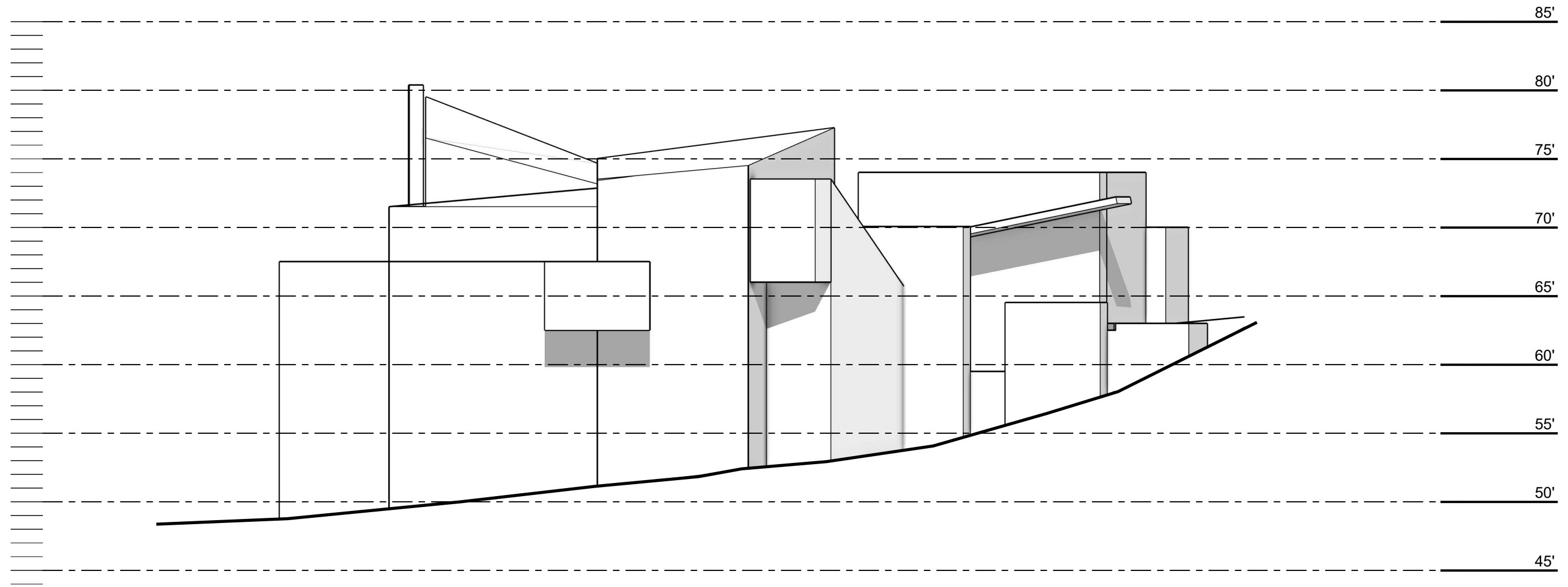


NORTH ELEVATION

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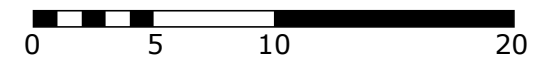


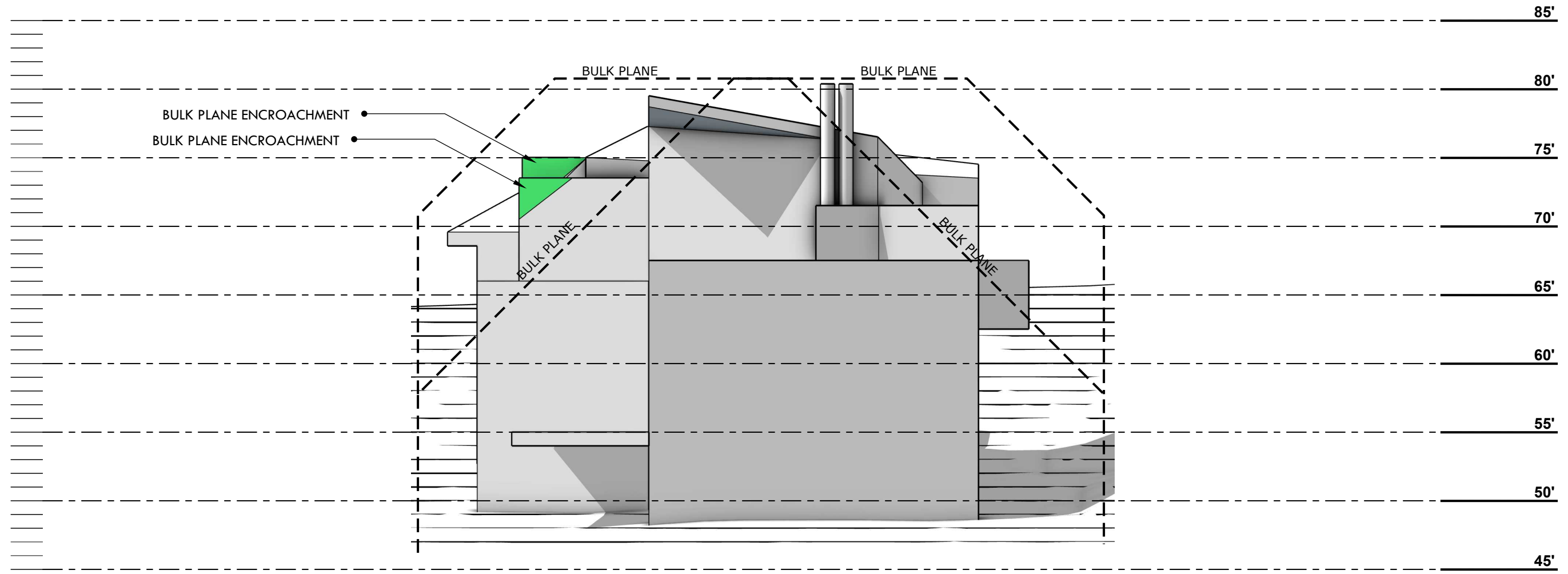




EAST ELEVATION

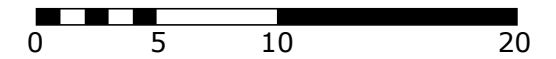
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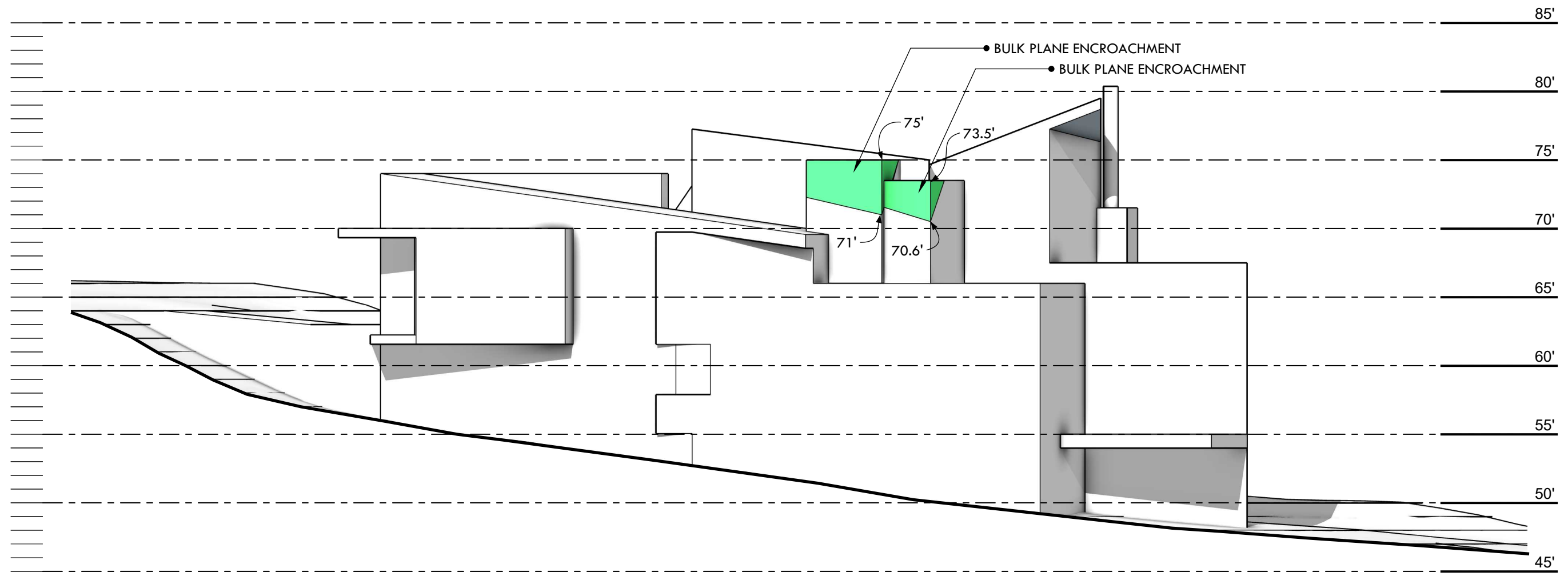




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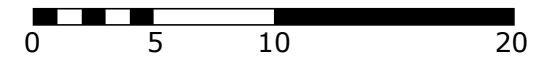
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WEST ELEVATION

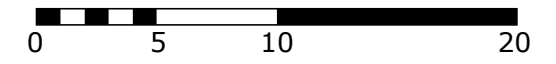
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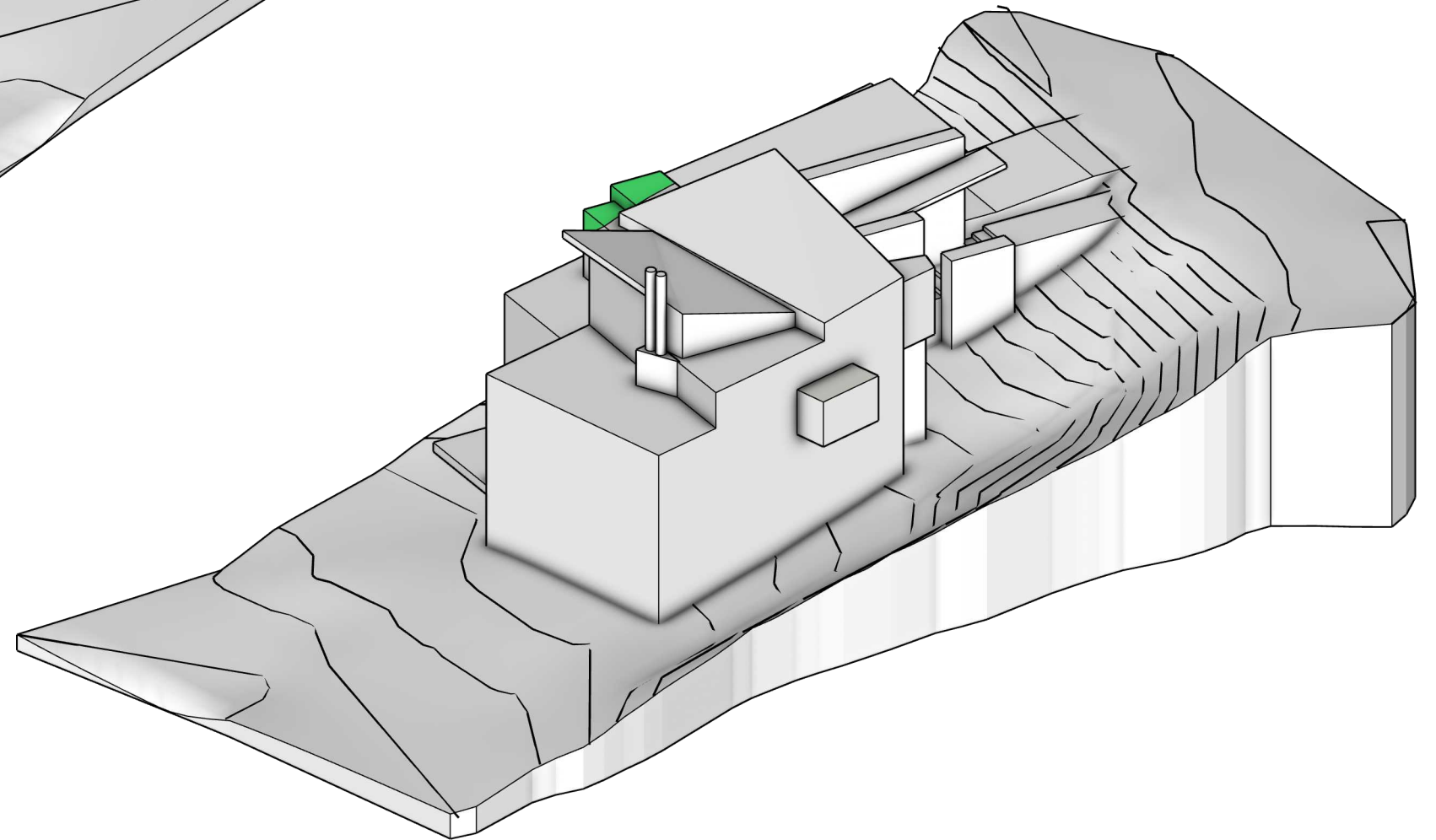
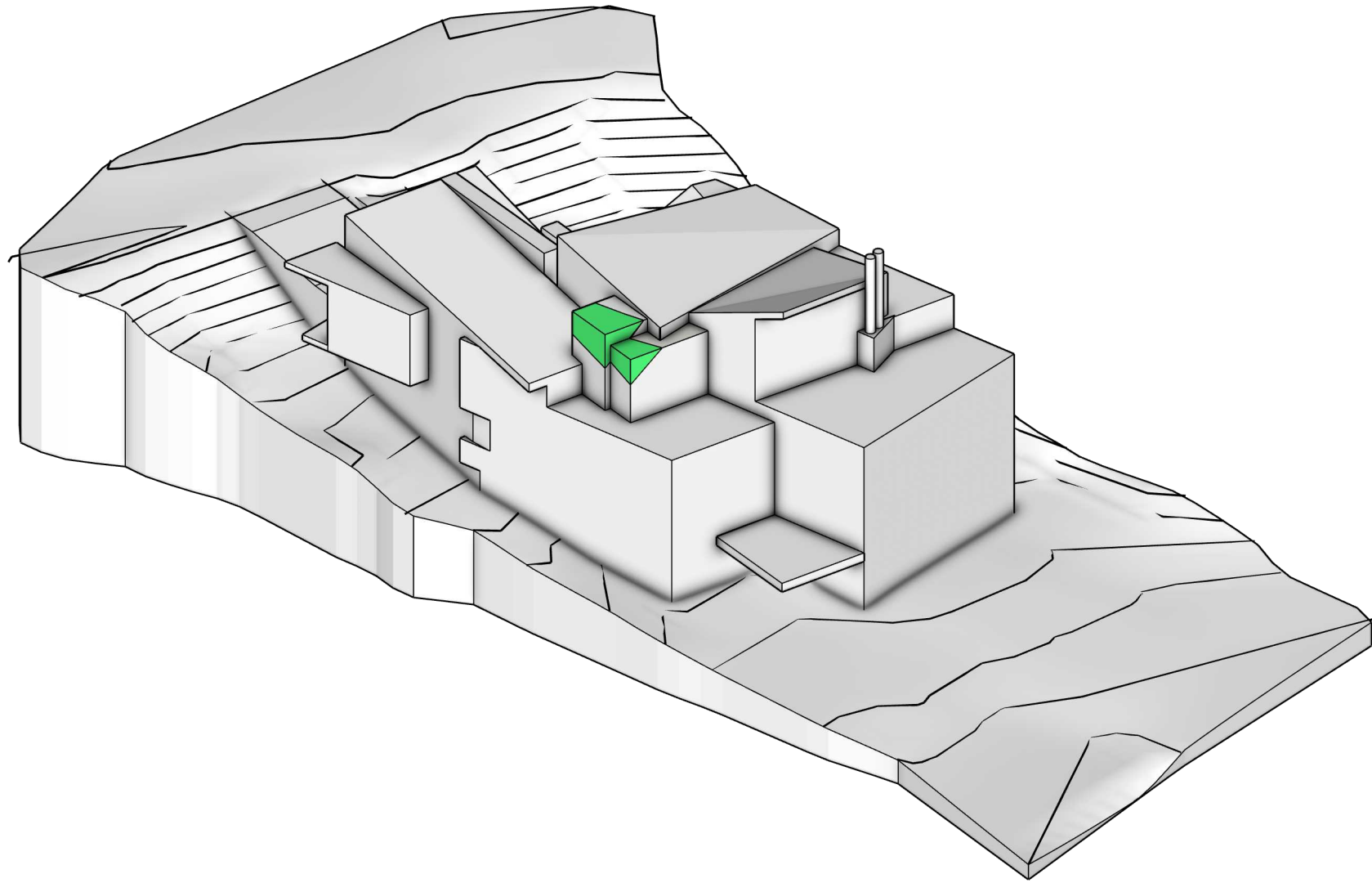




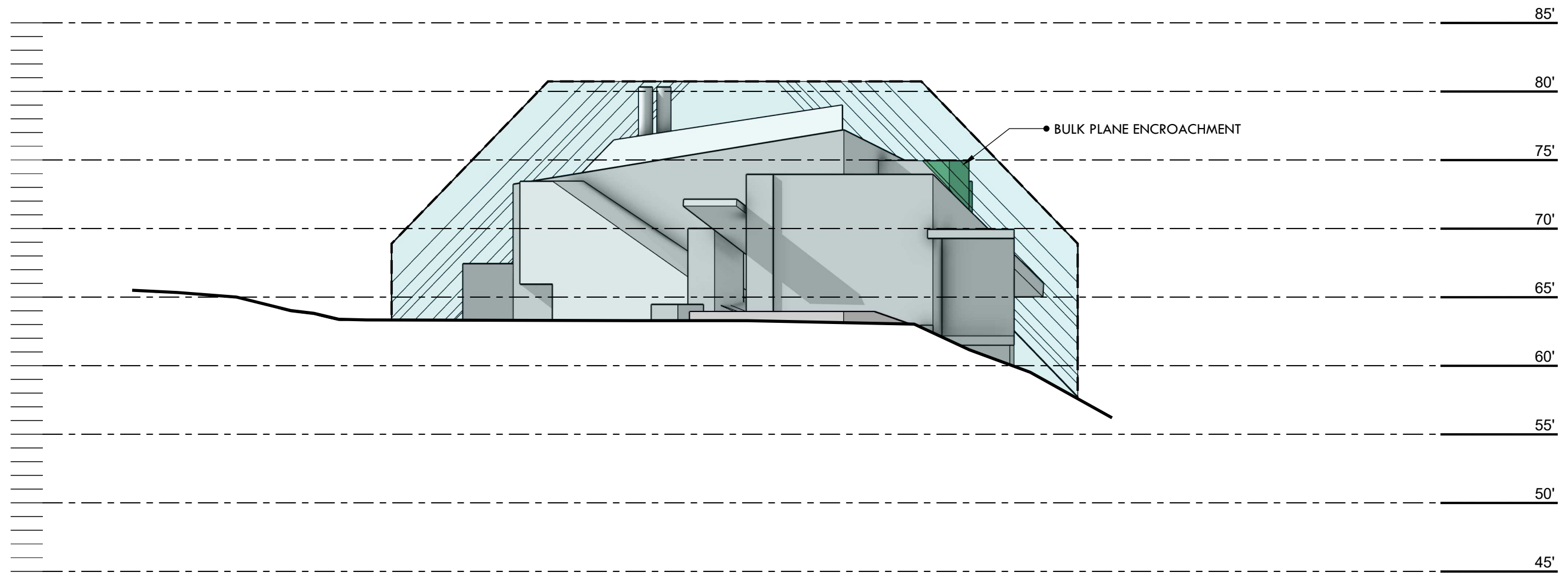
SITE PLAN

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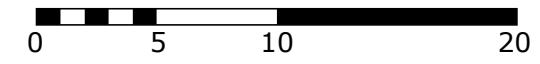


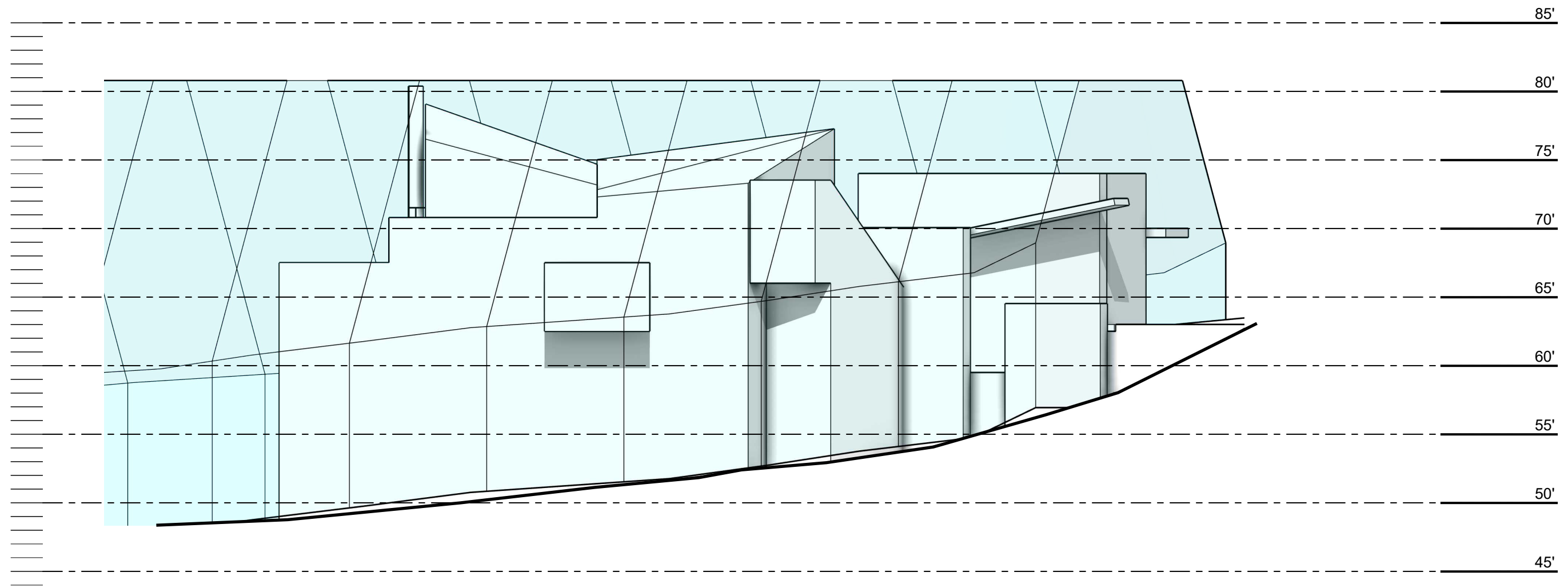
— ORTHO VIEW



NORTH ELEVATION

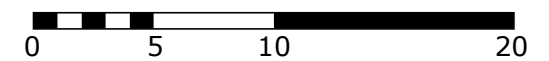
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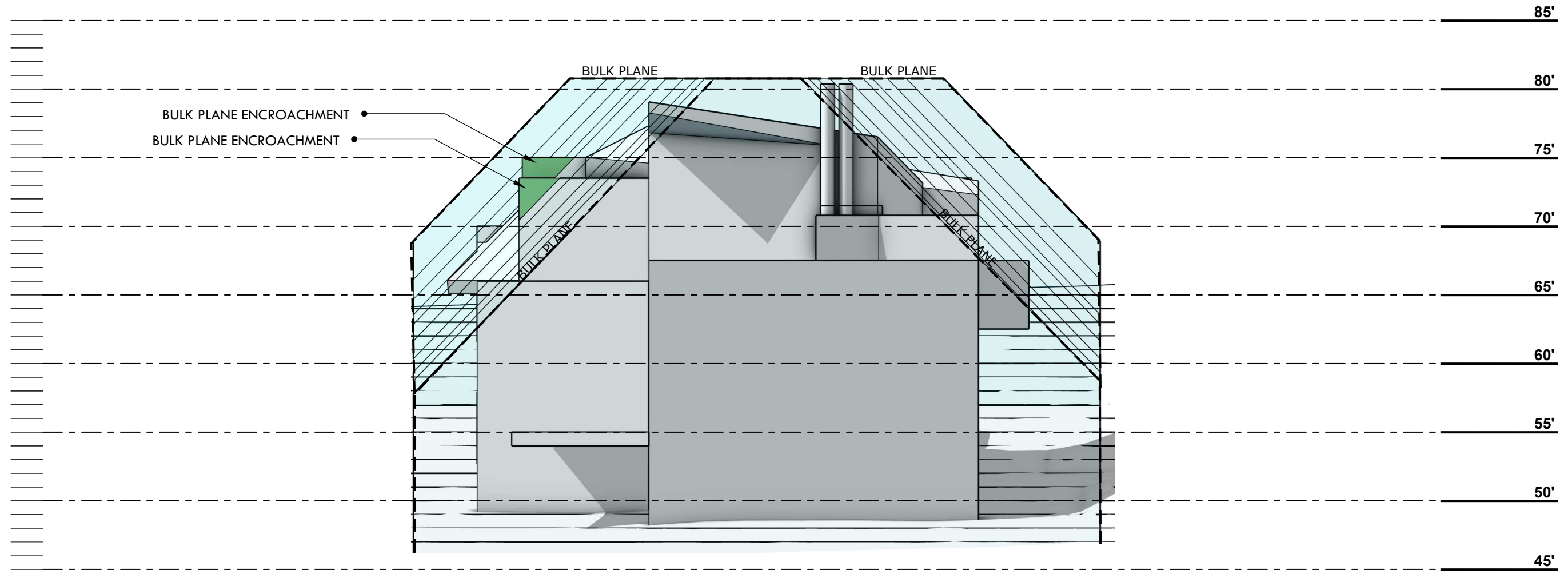




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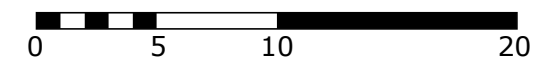
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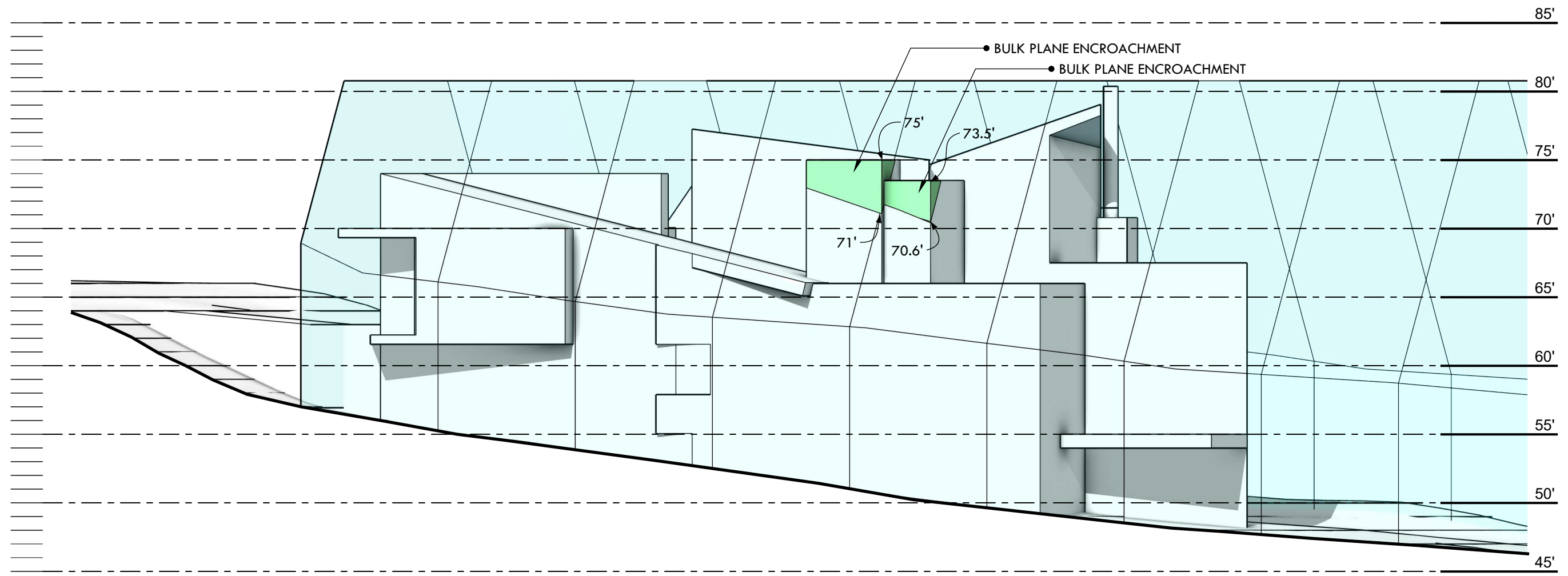


SOUTH ELEVATION

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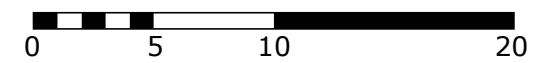


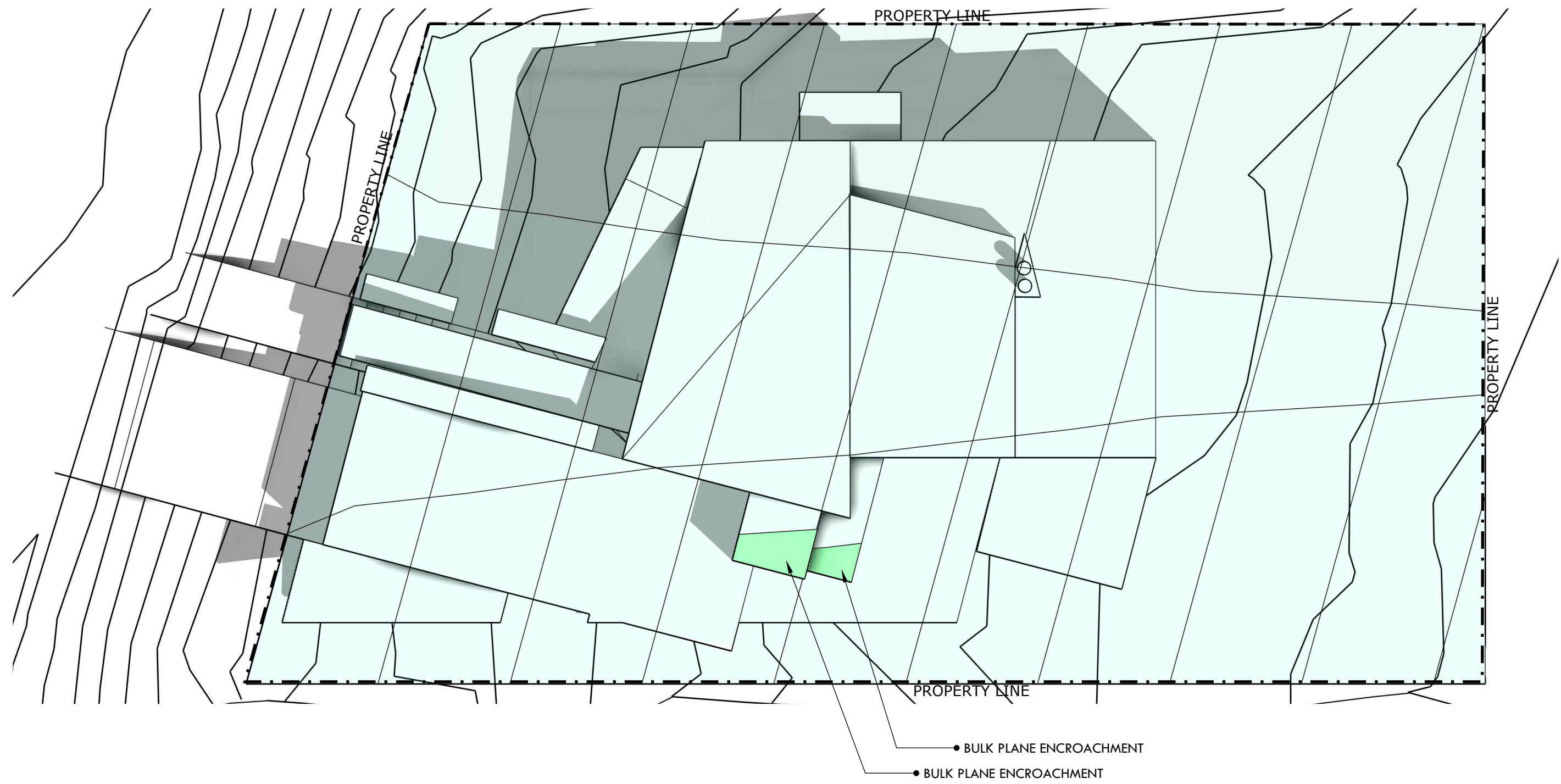




WEST ELEVATION

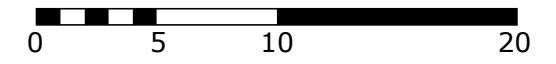
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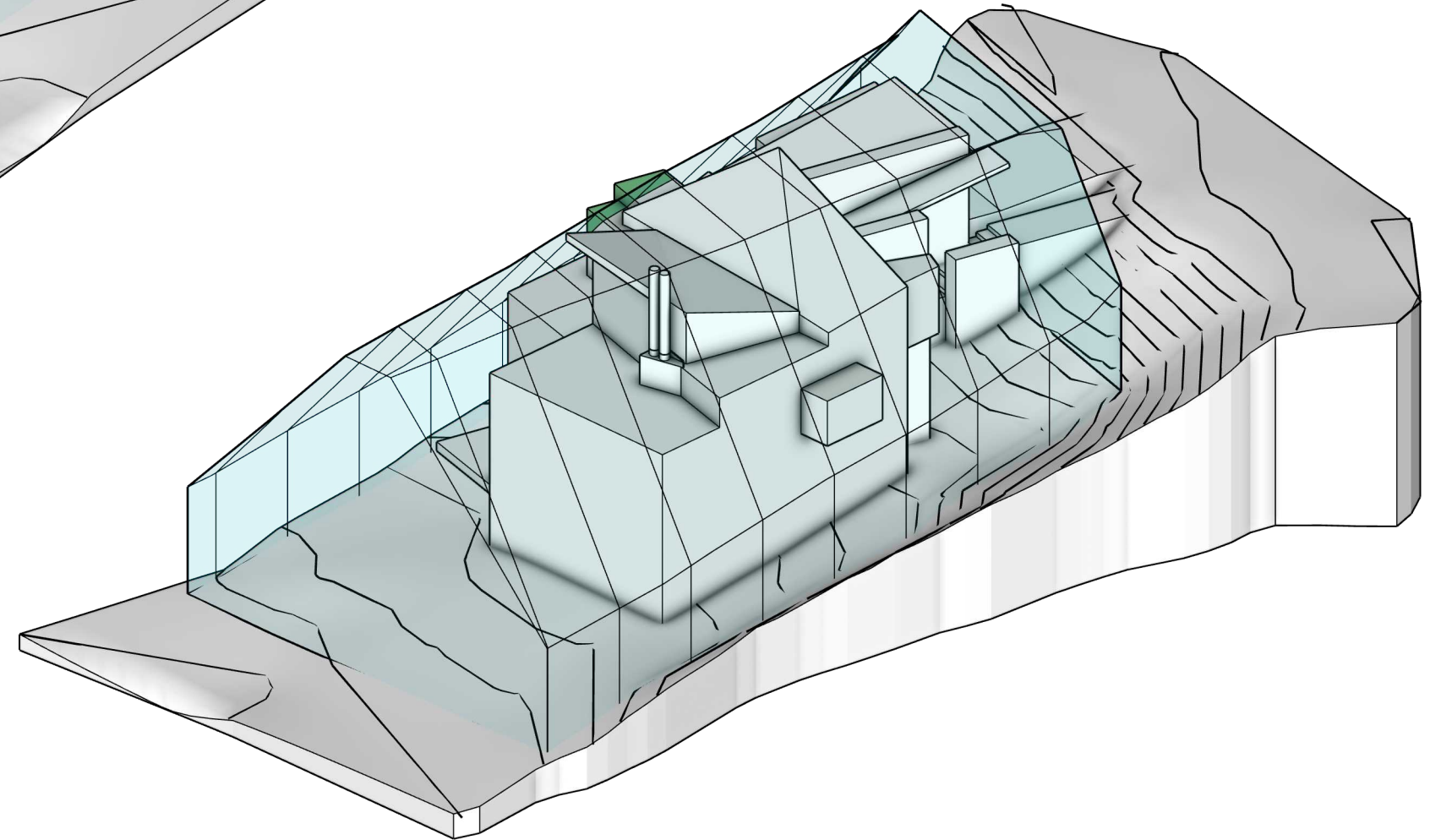
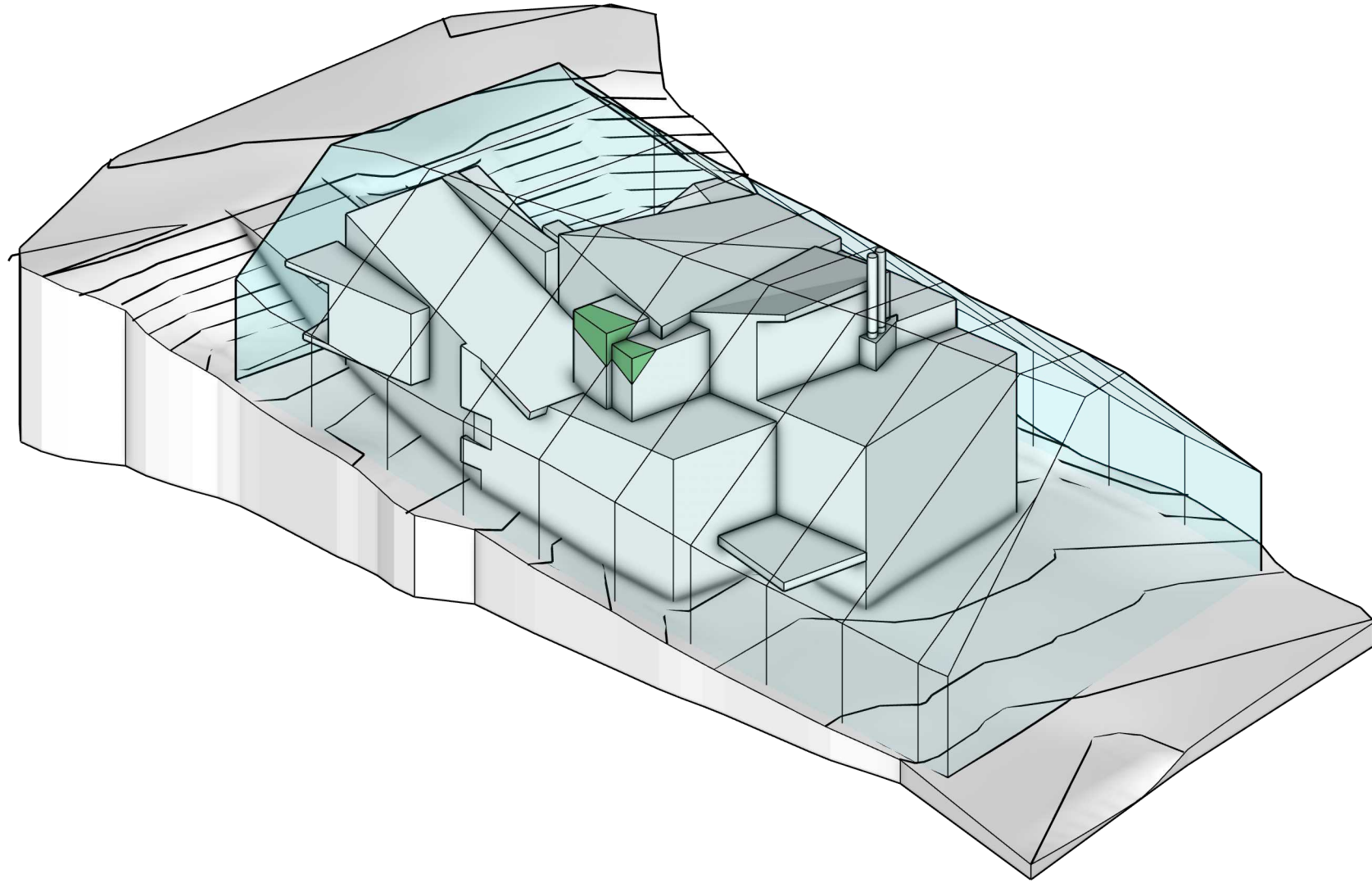




SITE PLAN

SCALE :: 1/8" = 1'-0"





— ORTHO VIEW



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\*See definitions in Section 9-16-1, B.R.C. 1981.

- ◆ Name of Owner: CALISLE DEAN
- Address: 1119 1<sup>ST</sup> AVE. Telephone: 206.343.0641
- City: SEATTLE State: WA. Zip Code: 98101 Email: \_\_\_\_\_
- ◆ Name of Contact (if other than owner): \_\_\_\_\_ CDEAN4@MINDSPRING
- Address: \_\_\_\_\_ Telephone: .COM
- City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_ Email: \_\_\_\_\_

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- Fence and Wall Variance (BRC 9-9-15)



# SIGN POSTING REQUIREMENTS APPLICANT'S ACKNOWLEDGMENT FORM

Required for Certain Land Use Review, Administrative Review, Technical Document Review, and Board of Zoning Adjustment Applications

## CITY CODE REQUIREMENT FOR SIGN POSTING OF LAND USE REVIEW APPLICATIONS -

**Excerpt of Section 9-4-3(c), B.R.C. 1981:** Public Notice of Application: The city manager will provide the following public notice of a development review application:

(1) Posting: After receiving such application, the manager will cause the property for which the application is filed to be posted with a notice indicating that a development review application has been made, the type of review requested, and that interested persons may obtain more detailed information from the planning department. The notice shall meet the following standards:

(A) The notice shall be placed on weatherproof signs that have been provided by the City and placed on the property that is the subject of the application.

(B) All such notice shall be posted no later than ten days after the date the application is filed to ensure that notice is posted early in the development review process.

(C) The signs shall be placed along each abutting street, perpendicular to the direction of travel, in a manner that makes them clearly visible to neighboring residents and passers-by. At least one sign shall be posted on each street frontage.

(D) The signs shall remain in place during the period leading up to a decision by the approving authority, but not less than ten days.

(E) On or before the date that the approving authority is scheduled to make a decision on the application the city manager will require the applicant to certify in writing that required notice was posted according to the requirements of this section.

I, Peter Carey, am filing a Land Use Review, Administrative Review, Technical Document Review, or BOZA application [on behalf of] Calisle Dean for the property located at 2050 Mesa Drive, Boulder Colorado. I have read the city's sign posting requirements above and acknowledge and agree to the following:

1. I understand that I must use the sign(s) that the city will provide to me at the time that I file my application. The sign(s) will include information about my application and property location to provide required public notice.
2. I am responsible for ensuring that the sign(s) is posted on the property described above in such a way that meets the requirements of Section 9-4-3(c), B.R.C. 1981 (listed above), including visibility of the sign(s) and time and duration of the sign(s) posting, and including reposting any signs that are removed, damaged, or otherwise displaced from the site. As necessary, I shall obtain a replacement sign(s) from the city for reposting.
3. I understand that certain future changes to my application, including but not limited to, changes to the project description or adding a review type, may require that I post a new sign(s). The city will notify me if such a reposting is required and provide me with a necessary replacement sign(s).
4. I understand that failing to provide the public notice by sign posting required by the city's land use regulation may result in a delay in the city's issuing a decision or a legal challenge of any issued decision.

Peter Carey  
NAME OF APPLICANT OR CONTACT PERSON

06/18/2024  
DATE

Please keep a copy of this signed form for your reference. If you have any questions about the sign posting requirements or to obtain a replacement sign, please call 303-441-1880.

**Letter of Consent**

Jine 17<sup>th</sup> 2024

To whom it may concern,

As the owner of the property located at 2050 Meza in Boulder Colorado,  
I give my consent and grant permission to proceed with all applications required for the Boulder Board  
of Zoning Adjustment (BOZA) and future permit applications required. My applicant shall be Peter Carey  
and the architect of record shall be Christopher Melton for this project.

Sincerely,

A handwritten signature in black ink, appearing to read 'Calisle Dean', with a long horizontal flourish extending to the right.

Calisle Dean



## 2050 Mesa narrative

a brief history....the owner.... calisle dean.... applied for and obtained a PUD and subsequent subdivision of a standard lot [2049 bluff street] creating two non-standard lots [2049 bluff street and 2050 mesa drive].... this occurred in 1986 - 1987.... in 2019 the owner applied for a height modification on the non-standard mesa lot through site review.... city staff determined that the two non-standard lots were now merged and the mesa lot no longer existed as a non-standard building site....[attachment A]....in 2023 city council overruled this determination reinstating provisions of the 1987 PUD/subdivision and reestablishing the two non-standard lots .... [attachment B].... this project is designed for the 2050 mesa lot and requires a minor variance from the current side yard bulk plane restrictions....

2050 mesa is one of seven nonstandard lots along the south side of mesa [attachment C] all of which were developed with PUD/subdivisions in the 1980's allowing setback and height variances from the MR-E zone in effect at the time.... this zone did not require side yard bulk plane conformance.... the original lots sloped down from mesa to bluff street below.... mesa was constructed on fill which created a steep slope off the south side.... car access to the seven lots from mesa was not originally a consideration.... all the lots were accessed from bluff.... at 2050 there is a ten foot drop from the street to the required two foot front yard setback which effectively places the top of the twelve foot bulk plane fence two feet above the garage floor at that point.... this initial abrupt drop off makes it extremely difficult to build within the constraints of the bulk plane while taking advantage of the four foot west side yard setback....

this design is a 2600 square foot three bedroom house on three levels with the lower level being a walk-out basement.... top of slab at the lower level is one foot below the lowest point on the property.... there is an elevator.... anticipating a future need.... which connects the garage level with the three other levels.... the garage is located with a drive perpendicular to mesa at the lowest possible point.... the ceiling heights where encroachment into the bulk plane occurs have been restricted to code minimum [seven feet for habitable spaces].... the house has been sited and designed to take advantage of and expand the east neighbors open space which is a unique feature along mesa drive [attachment C].... the program for this house is modest and compatible with its neighbors.... the highest point on the north elevation is thirteen feet above the street and set back forty feet from the street.... every effort has been made to lower the building into the site and articulate the overall mass...

the topography and size [fifty feet wide.... forty four hundred square feet total lot area] have created a difficult design challenge even with the modest program.... the structure being proposed is compatible in floor area, building coverage, height, and massing with the neighborhood,,,, as mentioned the development along the south side of mesa resulted from PUD's and subdivisions in the 1980's similar to those reinstated by city council for 2050 mesa in ordinance 8579 [attachment B].... the ordinance speaks directly to the consistency and compatibility in chapter M.... this building will finally replace the "missing tooth" in the neighborhood which has for decades been otherwise fully developed.... the "reasonable use and enjoyment" of mesa residents will only be enhanced.... as pointed out in the above narrative the variance sought is the minimum required to obtain relief from site difficulties and restraints of the side yard bulk plane.... the proposed design will not conflict with the provisions of section 9-9-17.... solar access area II....

christopher melton architect

2050 MESA

07.15.2024

BOZA VARIANCE CRITERIA RESPONSE

**(h) CRITERIA FOR VARIANCES**

The BOZA may grant a variance only if it finds that the application satisfies all of the applicable requirements of paragraph (1), (2), (3), OR (4) of this Subsection AND the requirements of paragraph (5) of this Subsection.

Paragraph 1

**(1) Physical Condition Disability**

**(A)** There are:

- (i)** Unusual physical circumstances or conditions, including, without limitation, irregularity, narrowness or shallowness of the lot, or exceptional topographical or other physical conditions peculiar to the affected property; or
- (ii)** There is a physical disability affecting the owners of the property or any member of the family of an owner who resides on the property which impairs the ability of the disabled person to utilize or access the property.

*Reply:*

- (i) The site at 2050 Mesa has unusual physical circumstances and conditions. There is a ten-foot drop from the street to the required two-foot front yard setback which effectively places the top of the twelve-foot bulk plane fence two feet above the garage floor at that point. The proposed finished floor of the main level will be 10 feet lower than the street. The site is also narrow at 50' wide. Every effort has been made to set the home as low as possible to limit the encroachment into the bulk plane.*
- (ii) There are anticipated physical disabilities affecting the owners and members of the family. As they age, they would like to still enjoy the home. An elevator has been provided in the design with this in mind. Ceiling heights are set at code minimums of 7 feet in impacted areas. Elevators, chimneys as well as parapet relief are shown and could be excluded per code, but as the overall bulk plane encroachments appear to be minimal were included to simplify this application.*

and

- (B)** The unusual circumstances or conditions do not exist throughout the neighborhood or zoning district in which the property is located; and
- (C)** Because of such physical circumstances or conditions, the property cannot reasonably be developed in conformity with the provisions of this chapter; and
- (D)** Any unnecessary hardship has not been created by the applicant.

*Reply:*

- (B) These unusual circumstances and conditions are unique to this property. This zone did not require side yard bulk plane conformance when the property was purchased, and Mesa was constructed on fill which created a steep slope off the south side to the lot and*
- (C) Because of such circumstances and conditions, the property cannot be developed in conformity with the provisions of the chapter; with a steep slope to the street and a narrow lot as noted, the proposed design works to mitigate these issues.*
- (D) No unnecessary hardship has been created by the applicant. Every effort has been made to set the home as low as possible to limit the encroachment into the bulk plane.*

#### **(5) Requirements for All Variance Approvals**

- (A)** Would not alter the essential character of the neighborhood or district in which the lot is located;
- (B)** Would not substantially or permanently impair the reasonable use and enjoyment or development of adjacent property;
- (C)** Would be the minimum variance that would afford relief and would be the least modification of the applicable provisions of this title; and
- (D)** Would not conflict with the provisions of Section 9-9-17, "Solar Access," B.R.C.1981.

*Reply:*

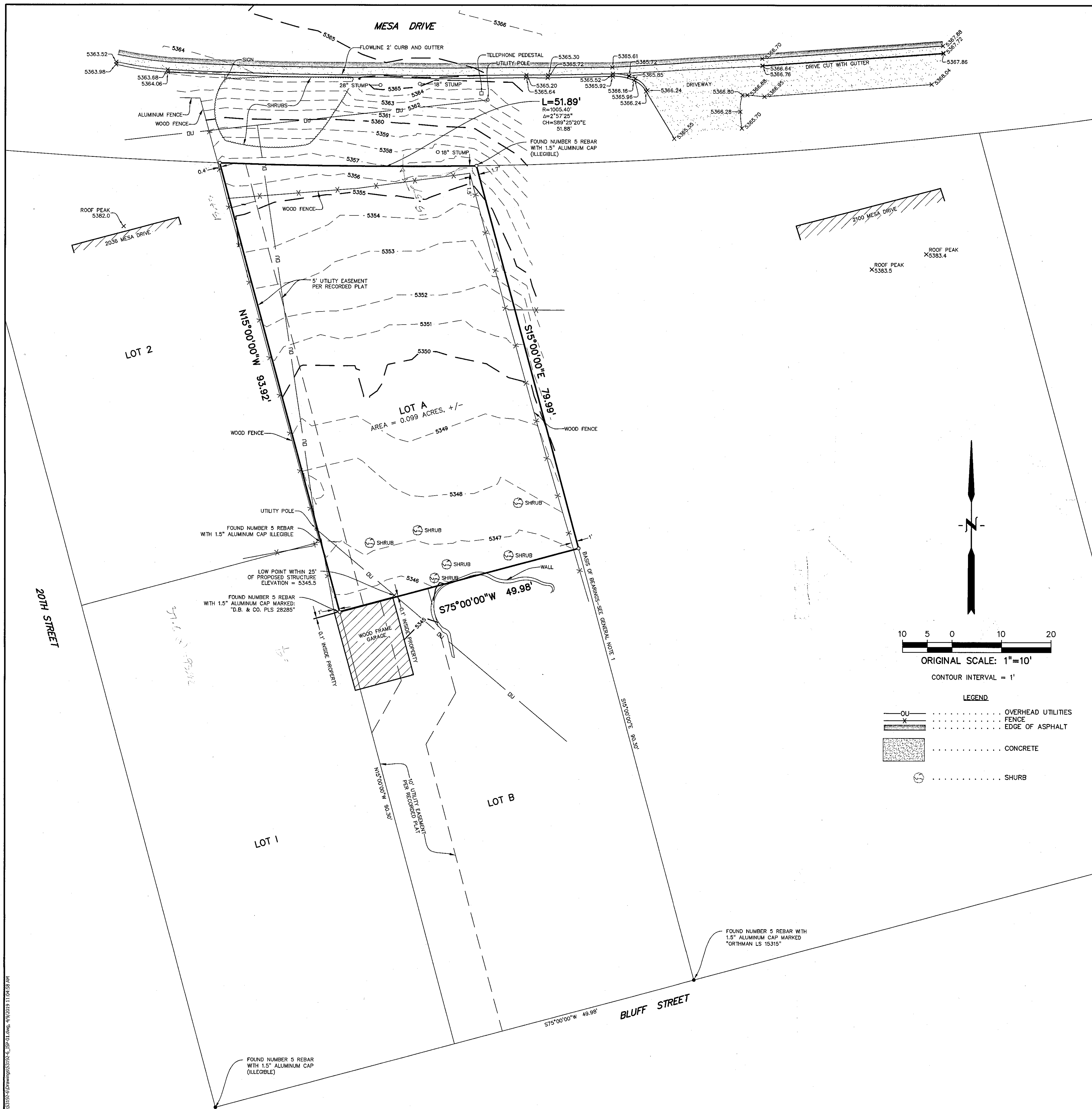
- (A) The proposed design will not alter the essential character of the neighborhood or district. The neighborhood is very diverse with many unique homes as well as the senior center across the street.*
- (B) The proposed design will not substantially or permanently impair the reasonable use and enjoyment or development of adjacent property. There is an open area to the east of the property to help preserve the existing view from that lot. The existing home to the west will maintain their primary views to the south and west. The proposed design limits windows looking west to preserve privacy for both parties.*
- (C) The proposed design will be the minimum variance that will afford relief and will be the last modification of the applicable provisions of this title. The design is a balance between site constraints and function and the encroachment into the bulk plane is primarily to the sides of the lot.; and*
- (D) The proposed design will not conflict with the provisions of Section 9-9-17, Solar Access B.R.C. 1981. The north south orientation of the lot as well as the topography will help to maintain solar access to adjacent properties.*

Please refer to the narrative provided by the architect Christopher Melton for a complete summary of the site and the design process to date. Thank you for your time and consideration, this plan took four years to come to fruition, we feel this design is most suited for the site, our neighborhood and will be an asset to the community.

Sincerely,

Peter Carey

Applicant



**GENERAL NOTES**

1. THE BASIS OF BEARINGS IS THE EASTERLY LINE OF LOTS A AND B, UPLAND SUBDIVISION, BEING MONUMENTED AS SHOWN HEREON, WITH THE LINE BETWEEN ASSUMED TO BEAR S15°00'00\"/>

**LEGAL DESCRIPTION**

LOT A, UPLAND SUBDIVISION, A SUBDIVISION RECORDED JULY 15, 1987 AS RECEPTION NO. 86-023 OF THE RECORDS OF BOULDER COUNTY, COLORADO.

**SURVEYOR:** MATHEW E. SELDERS  
DREXEL, BARRELL & CO.  
1800 38TH STREET  
BOULDER, COLORADO 80301  
(303) 442-4338

**CERTIFIED TO:** CALISLE DEAN

I HEREBY CERTIFY THAT THIS IMPROVEMENT SURVEY PLAT WAS MADE UNDER MY DIRECT RESPONSIBILITY, SUPERVISION, AND CHECKING ON THE 2ND DAY OF APRIL, 2019, IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 38-51-102(9), C.R.S., AS AMENDED; THAT THE REAL PROPERTY SURVEYED IS LOCATED IN THE COUNTY OF BOULDER, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS SHOWN ON THE ACCOMPANYING MAP; THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP OR PLAT OF THE SURVEY CORRECTLY AND ACCURATELY SHOWS THE RECORD TITLE LINES AND THE LOCATIONS OF VISIBLE AND ABOVE GROUND BUILDINGS, IMPROVEMENTS, EASEMENTS, STREETS AND RIGHTS-OF-WAY IN EVIDENCE OR KNOWN TO ME AND VISIBLE AND ABOVE GROUND ENCROACHMENTS BY OR ON THE PREMISES ARE ACCURATELY SHOWN.

IN ACCORDANCE WITH THE STATE BOARD OF LICENSURE FOR ARCHITECTS, PROFESSIONAL ENGINEERS AND PROFESSIONAL LAND SURVEYORS RULE 6.2.2, THE UNDERSIGNED FURTHER CERTIFIES THAT THIS MAP OR PLAT REFLECTS THE RESULTS OF A SURVEY MADE BY ME OR UNDER MY RESPONSIBLE CHARGE, IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, WAS PREPARED IN ACCORDANCE WITH APPLICABLE STANDARDS OF PRACTICE AND IS NOT A GUARANTY OR WARRANTY, EITHER EXPRESSED OR IMPLIED.

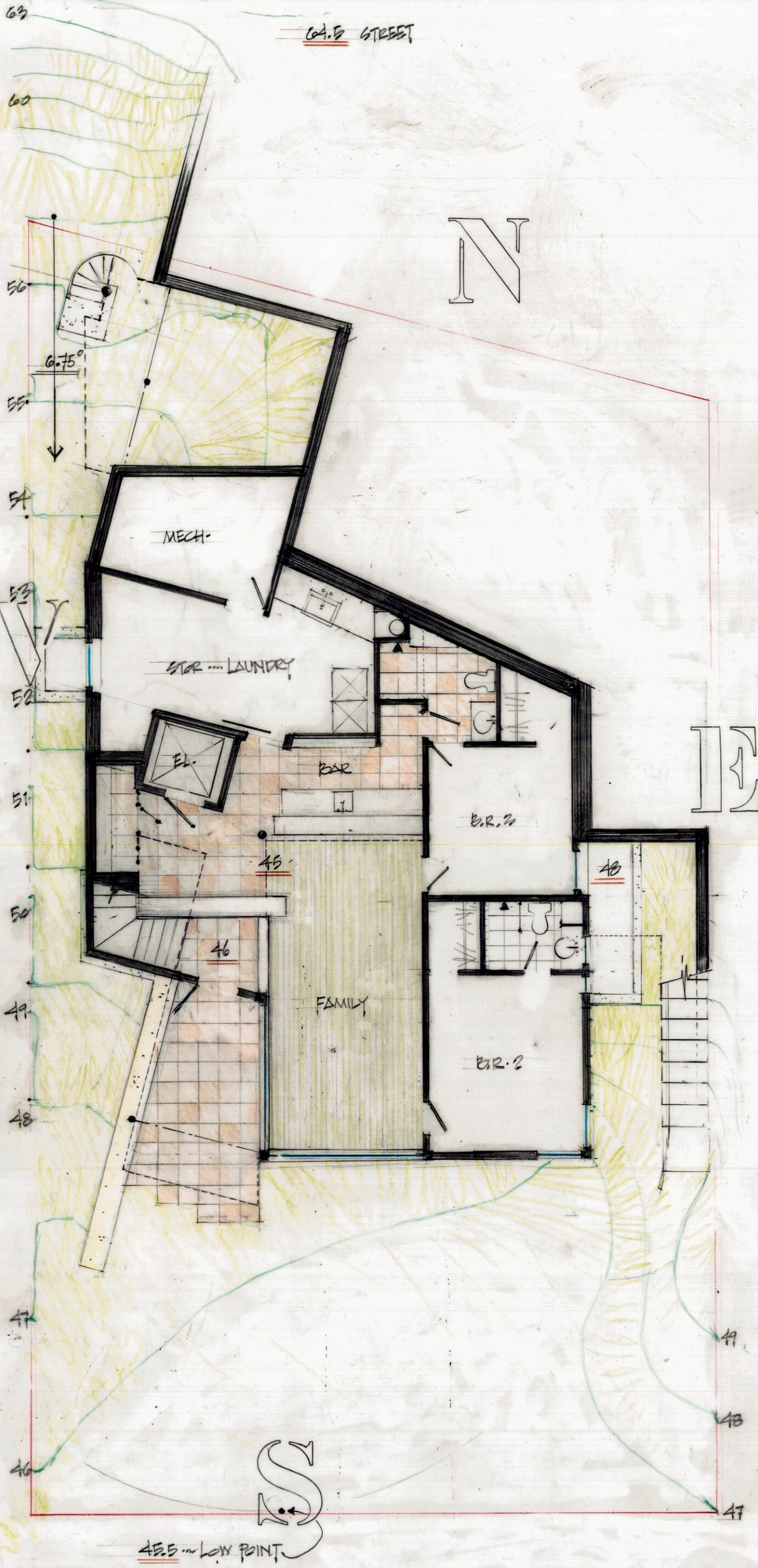
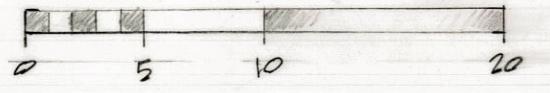
MATHEW E. SELDERS  
COLORADO LICENSED PROFESSIONAL  
LAND SURVEYOR NO. 27275

**IMPROVEMENT SURVEY PLAT OF LOT A, UPLAND SUBDIVISION, LOCATED IN THE NE1/4 OF SECTION 30, T1N, R70W OF THE 6TH P.M., IN THE CITY OF BOULDER, COUNTY OF BOULDER, STATE OF COLORADO.**  
**FOR: CALISLE DEAN**

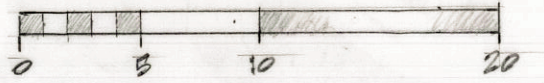
IN ACCORDANCE WITH CRS 13-80-105:  
NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

**Drexel, Barrell & Co.** Engineers/Surveyors  
1800 38TH STREET BOULDER, COLORADO 80301 (303) 442-4338  
BOULDER, COLORADO (303) 442-4338  
COLORADO SPRINGS, COLORADO (719) 860-0887  
GREELEY, COLORADO (970) 351-0645

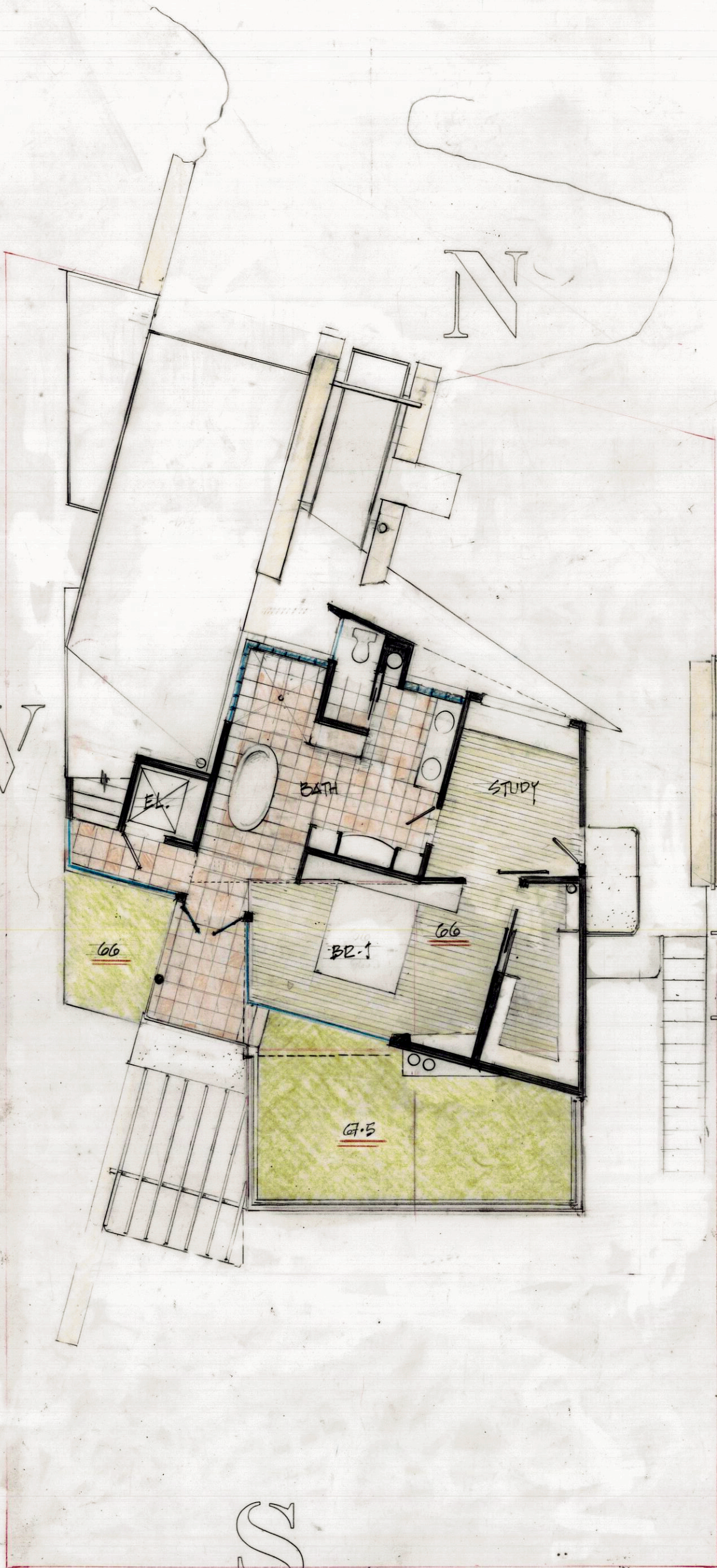
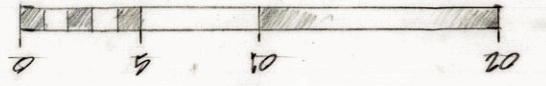
Revisions - Date	Date	Drawn By	Job No.
	4/3/19	MNF/vjd	S3192-6
	Scale	Checked By	Drawing No.
	1" = 10'	MES	B31-72A



LOWER LEVEL 1/8"

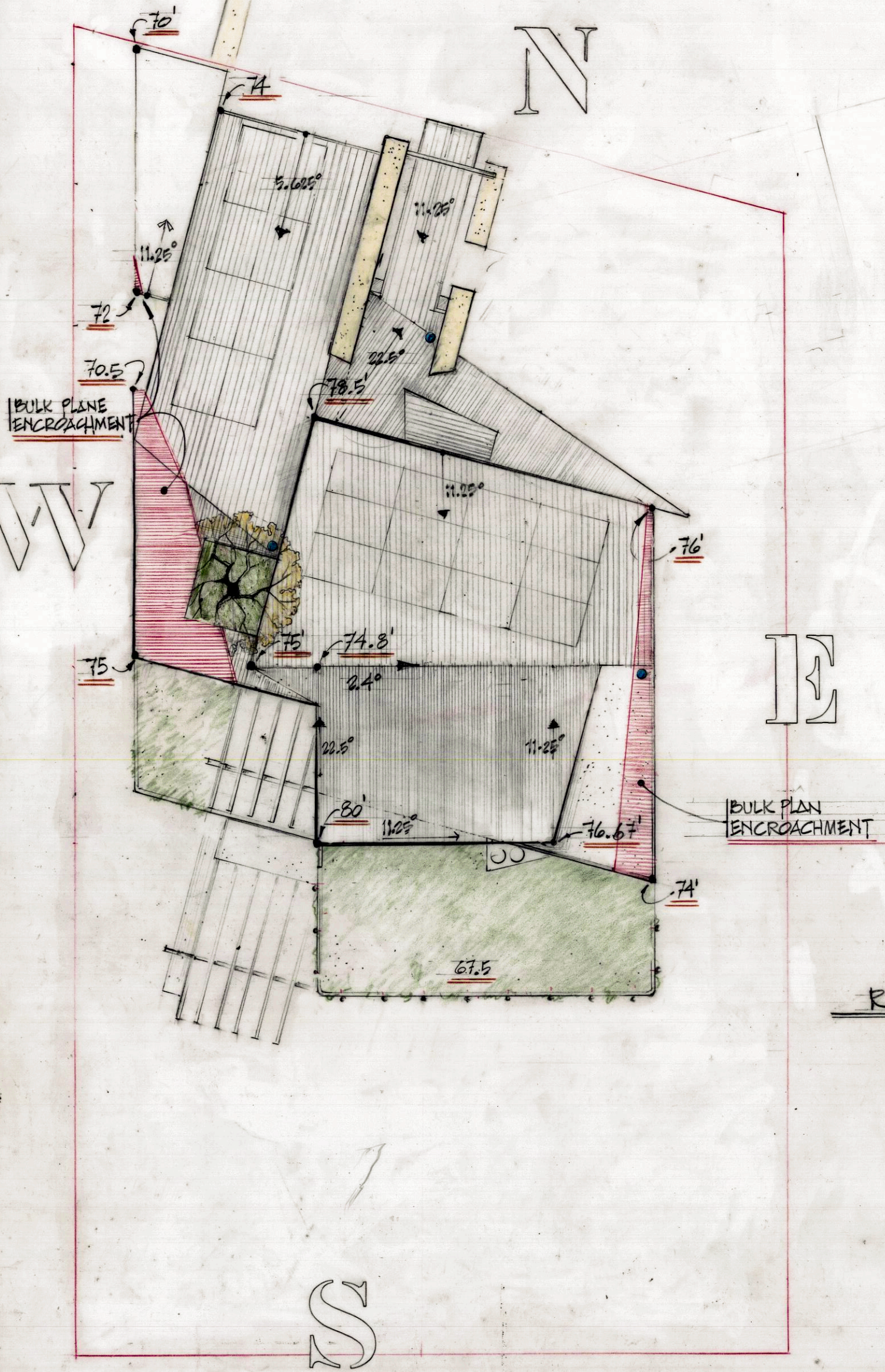
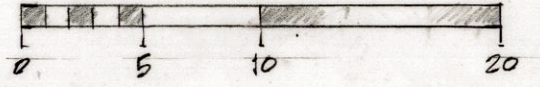


MID LEVEL 1/8"

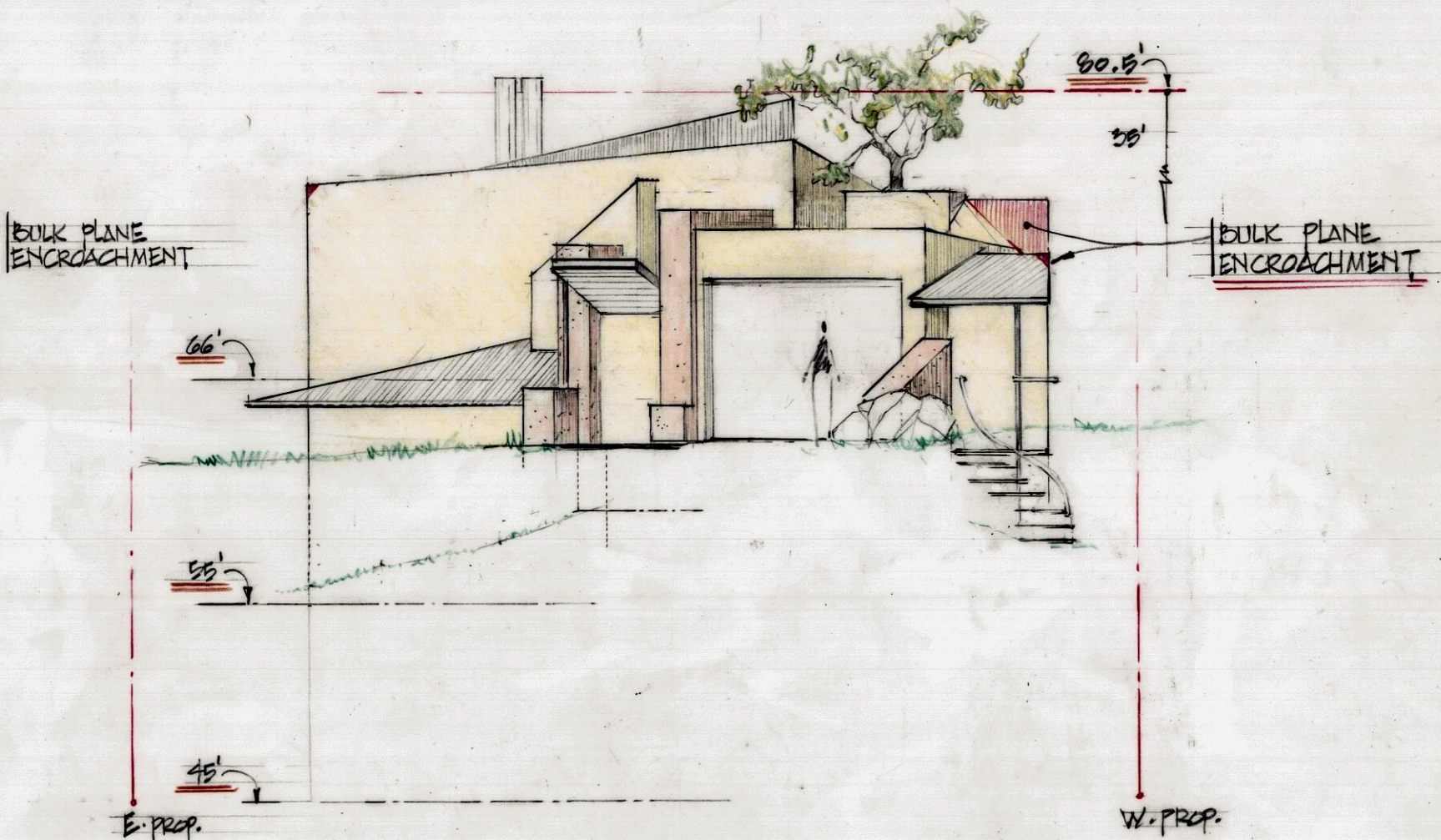
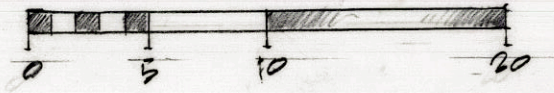


UPPER LEVEL 1/8"

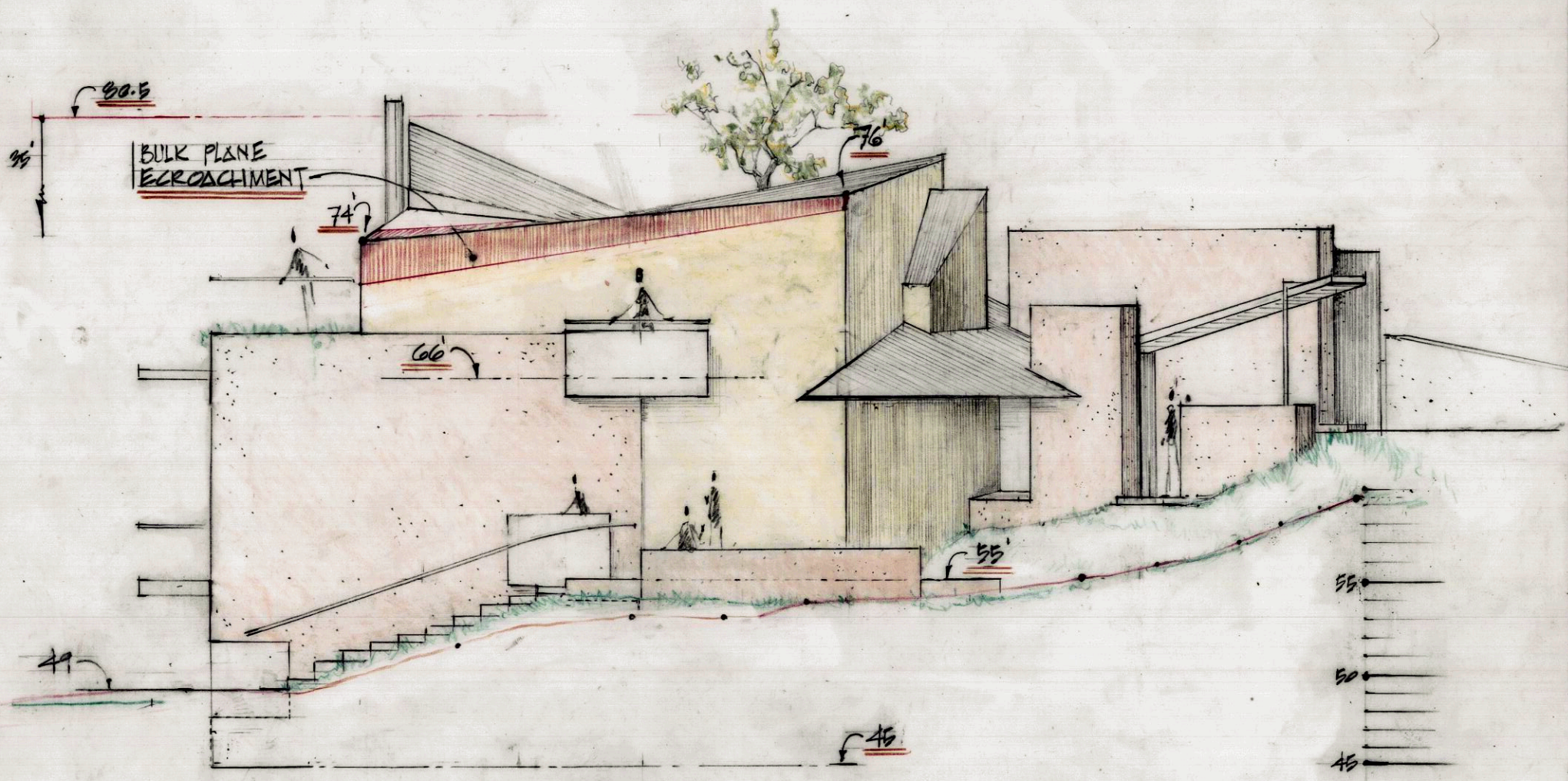
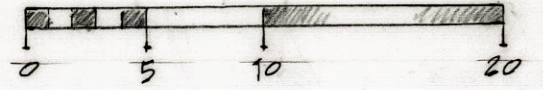




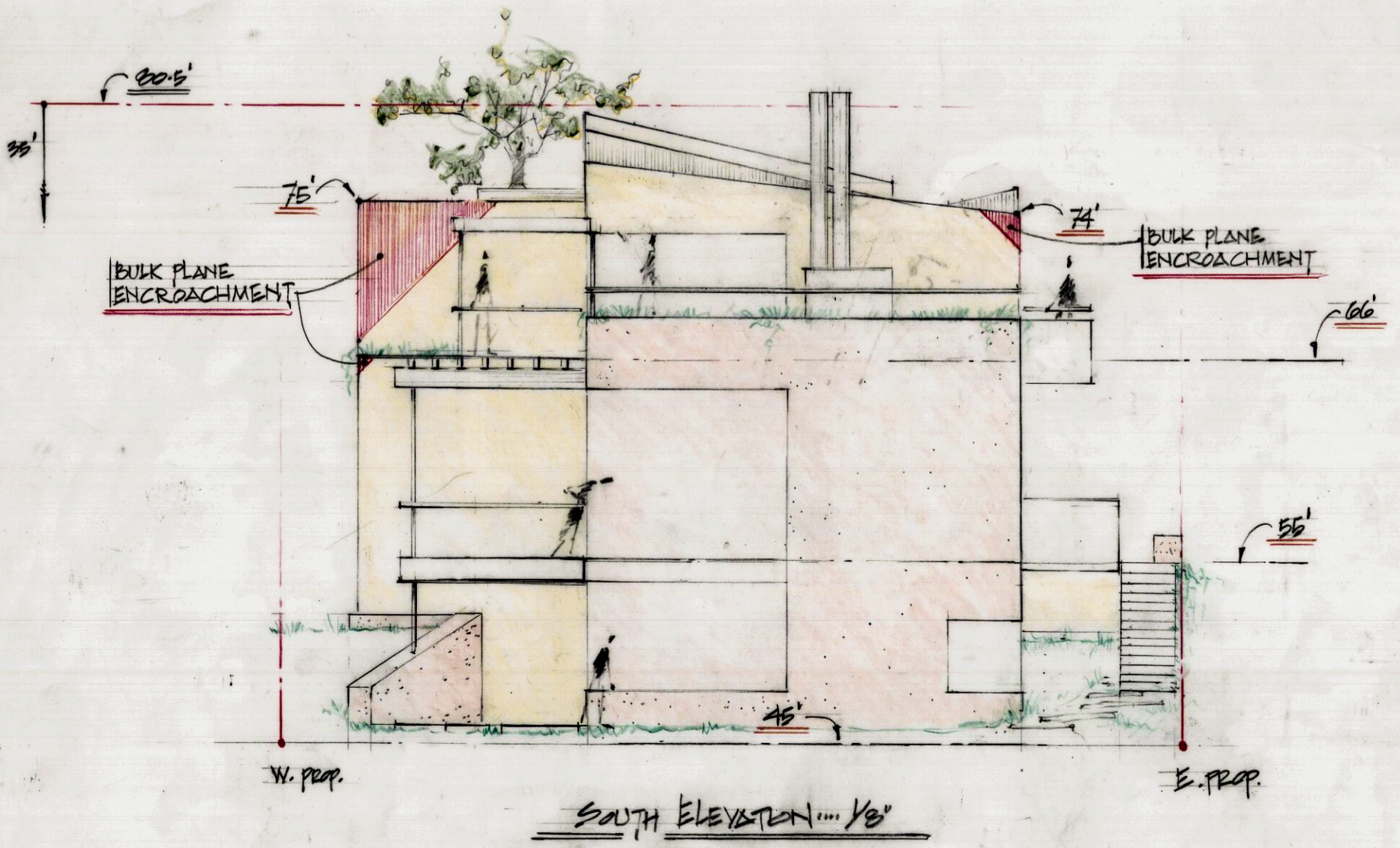
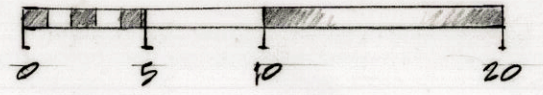
Roof PLAN 1/8"

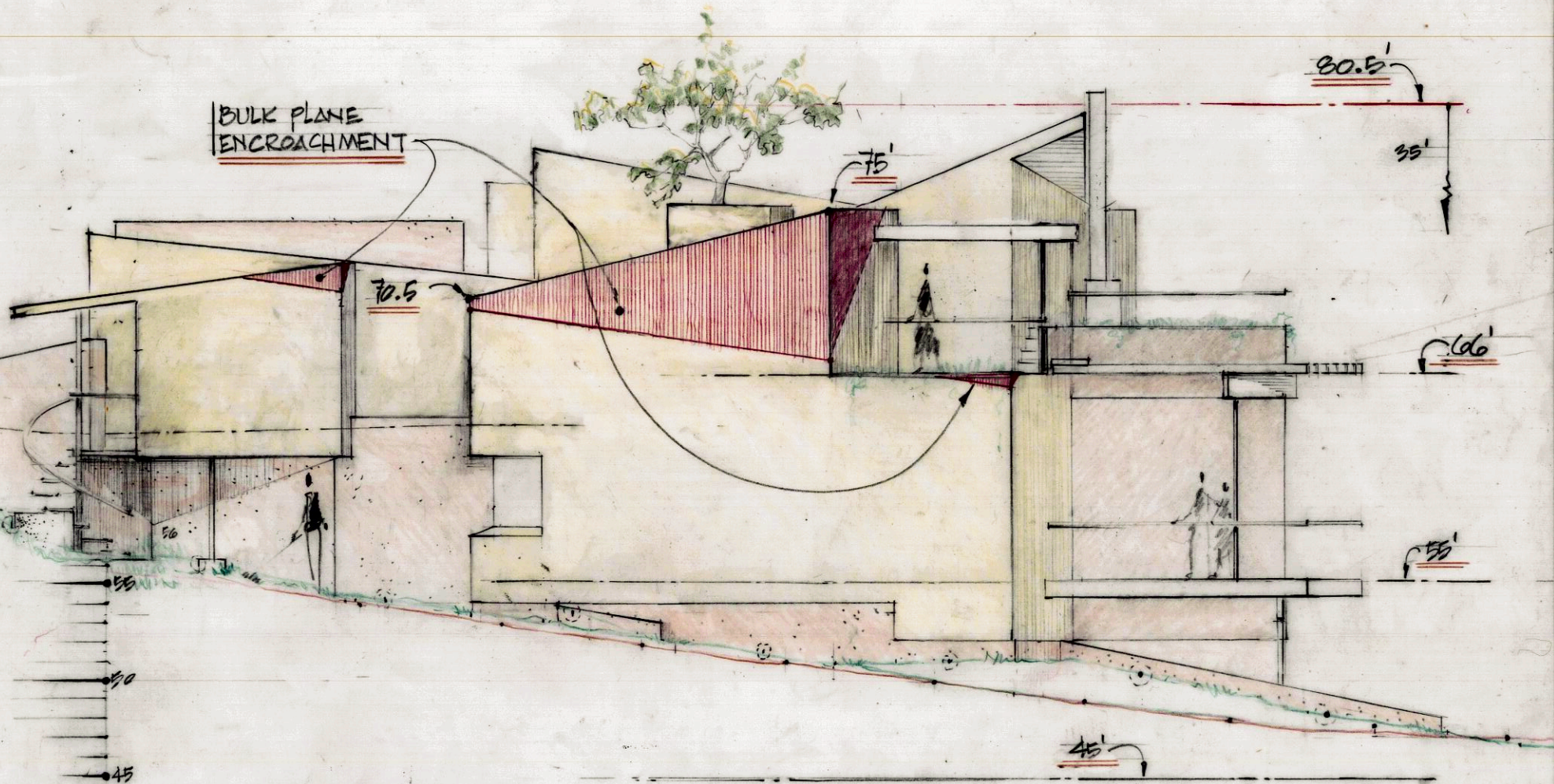
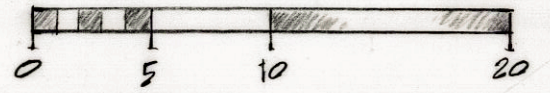


NORTH ELEVATION ... 1/8"

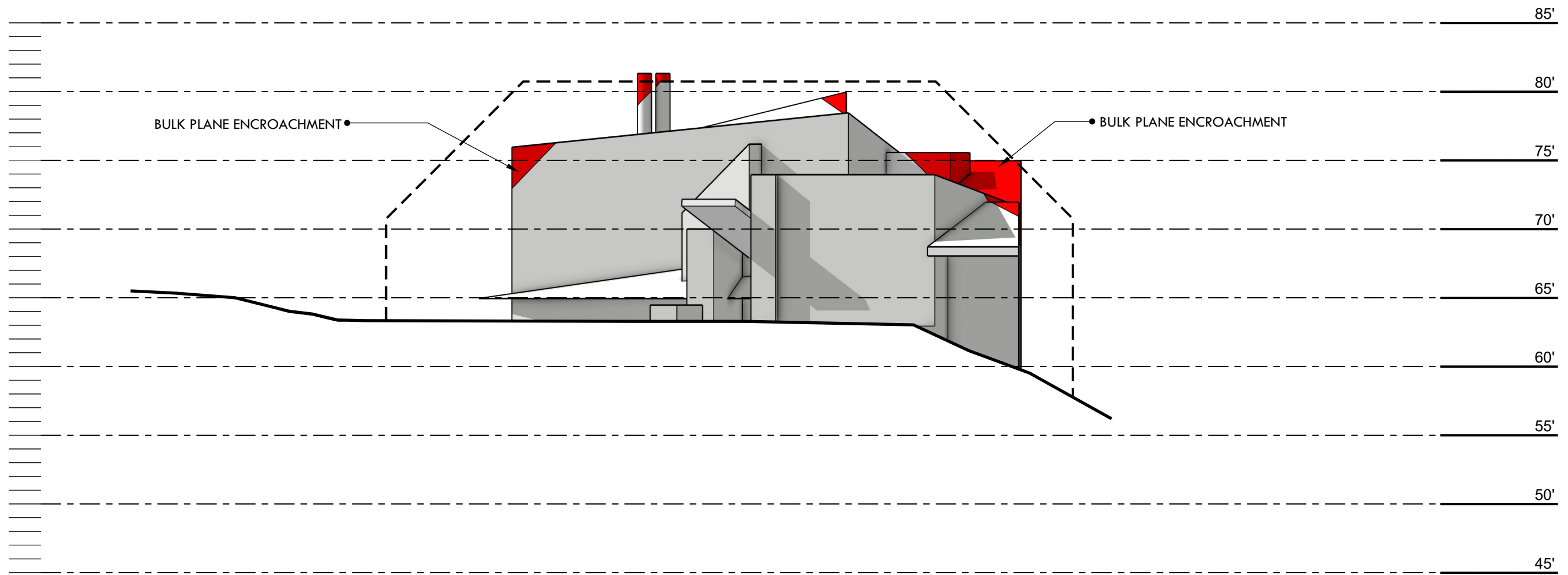


EAST ELEVATION ... 1/8"



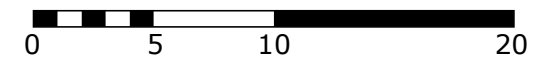


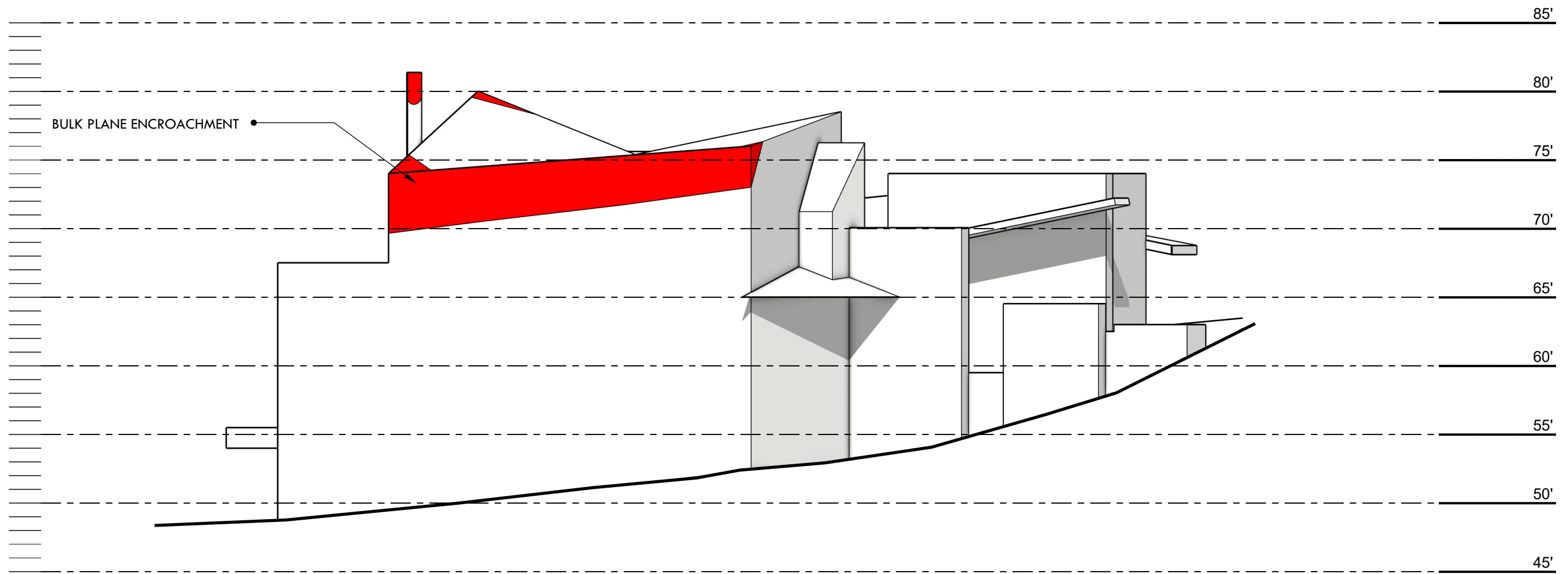
WEST ELEVATION ... 1/8"



NORTH ELEVATION

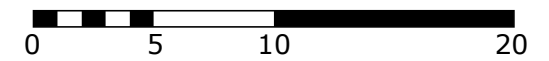
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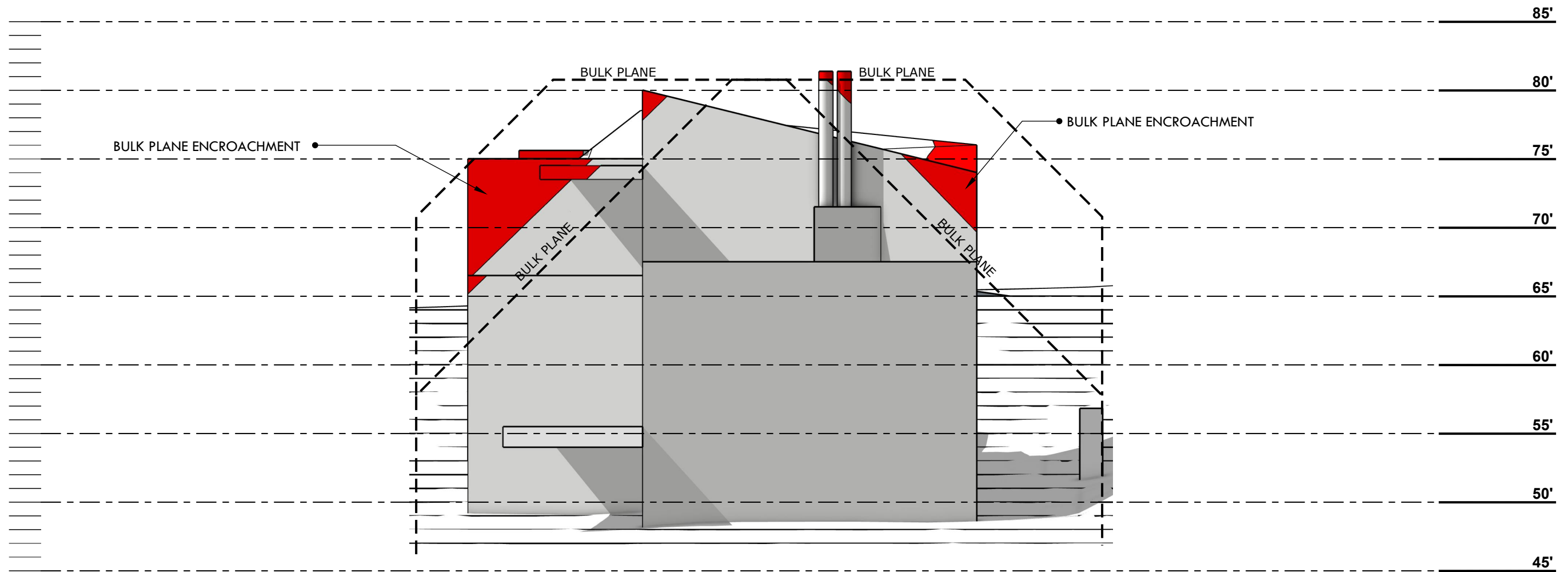




EAST ELEVATION

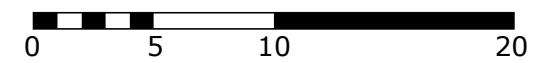
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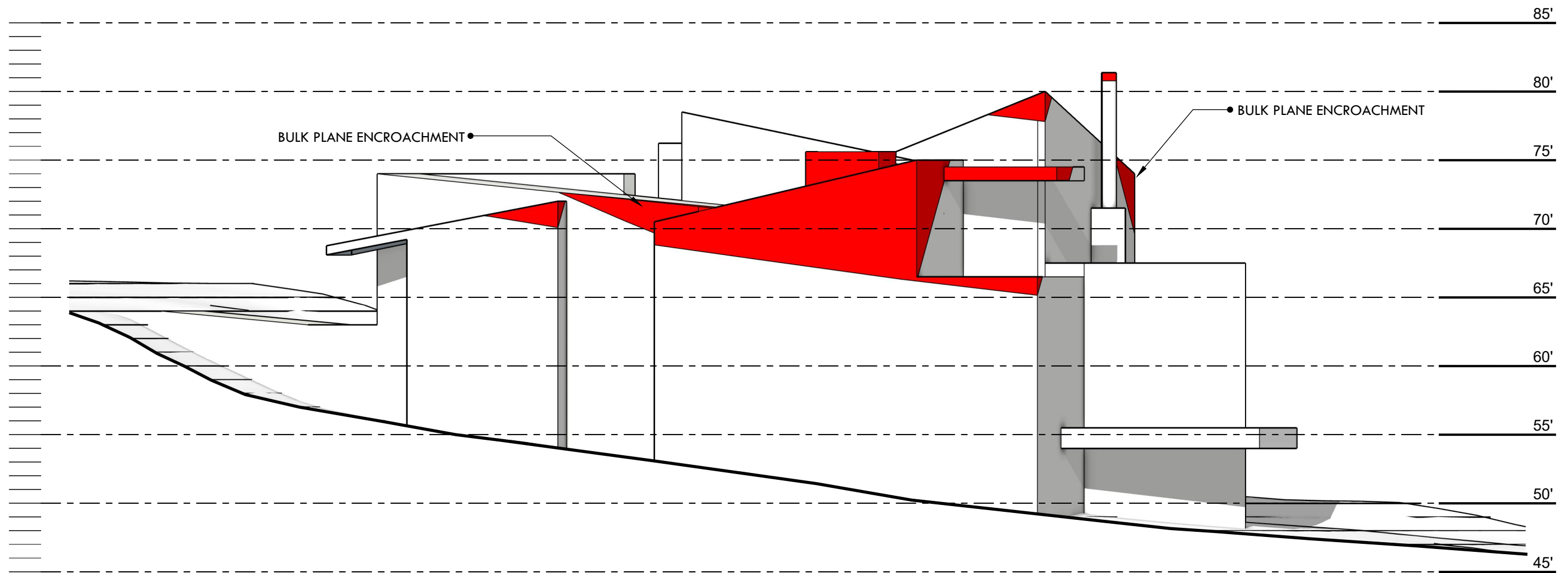


SOUTH ELEVATION

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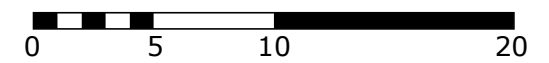






WEST ELEVATION

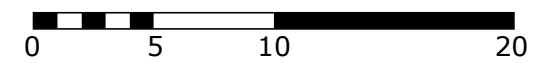
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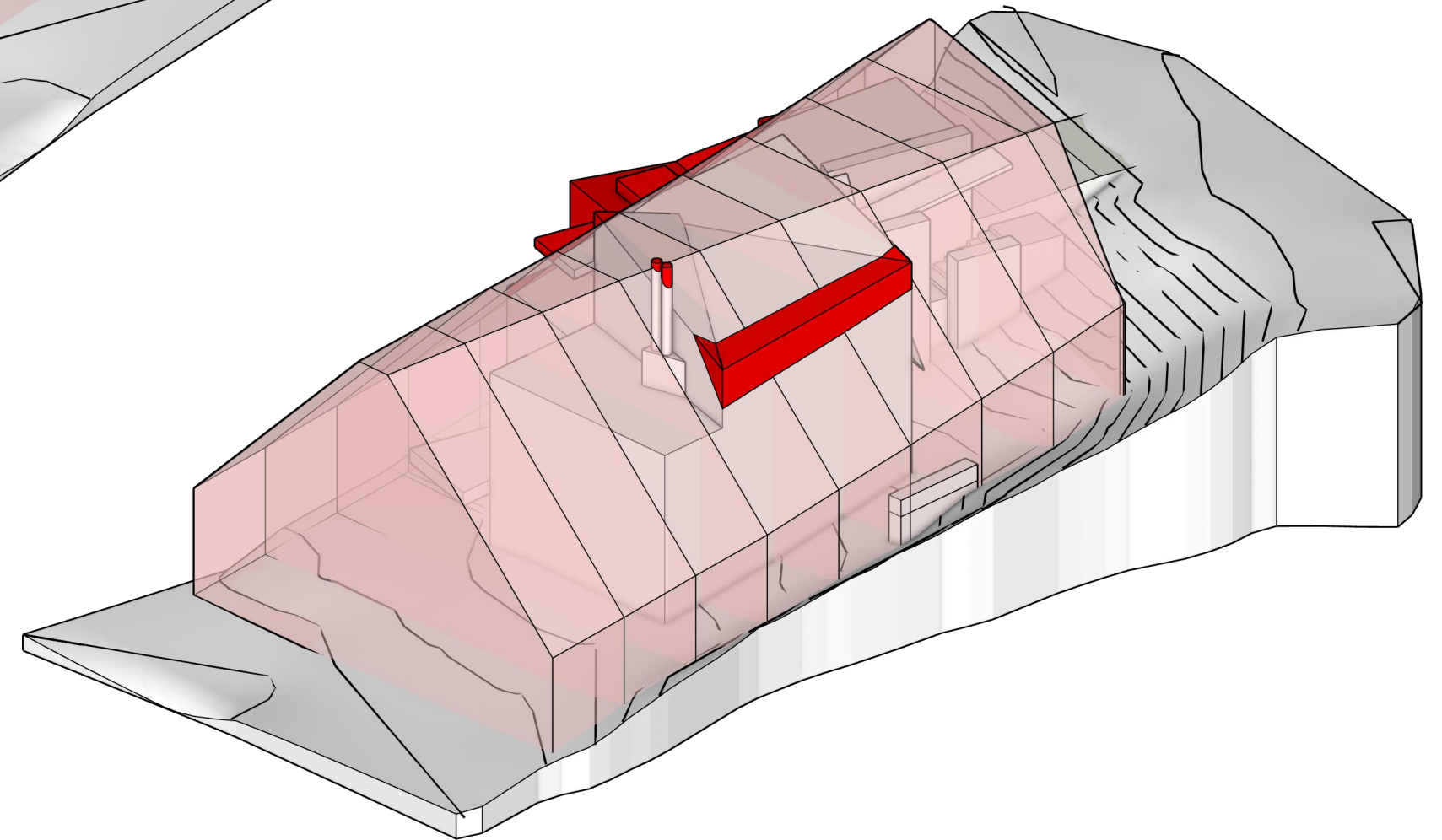
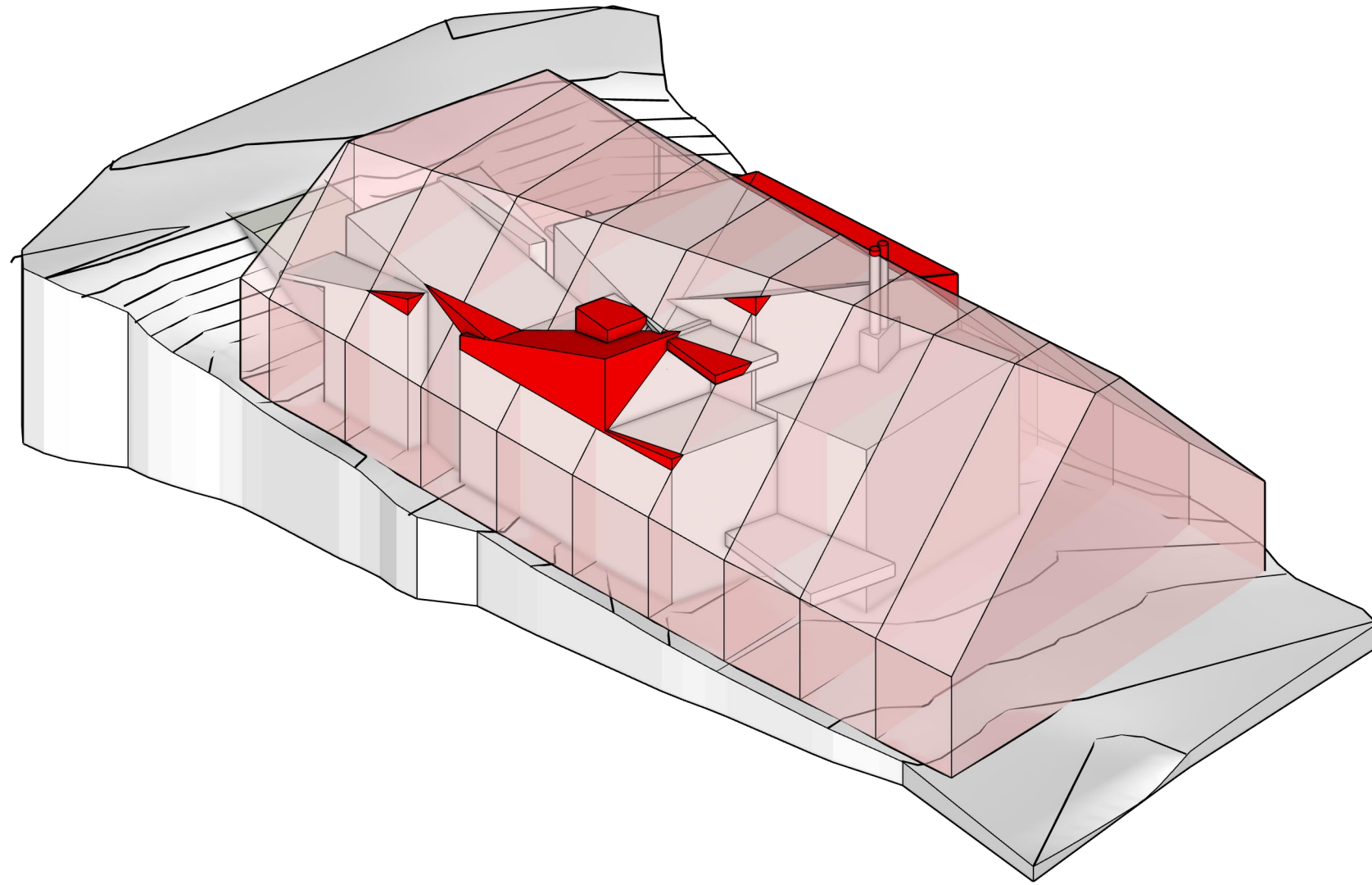




SITE PLAN

SCALE :: 1/8" = 1'-0"





— ORTHO VIEW

*\*August 13, 2024 BOZA 1st Hearing Materials\**

attachment cover

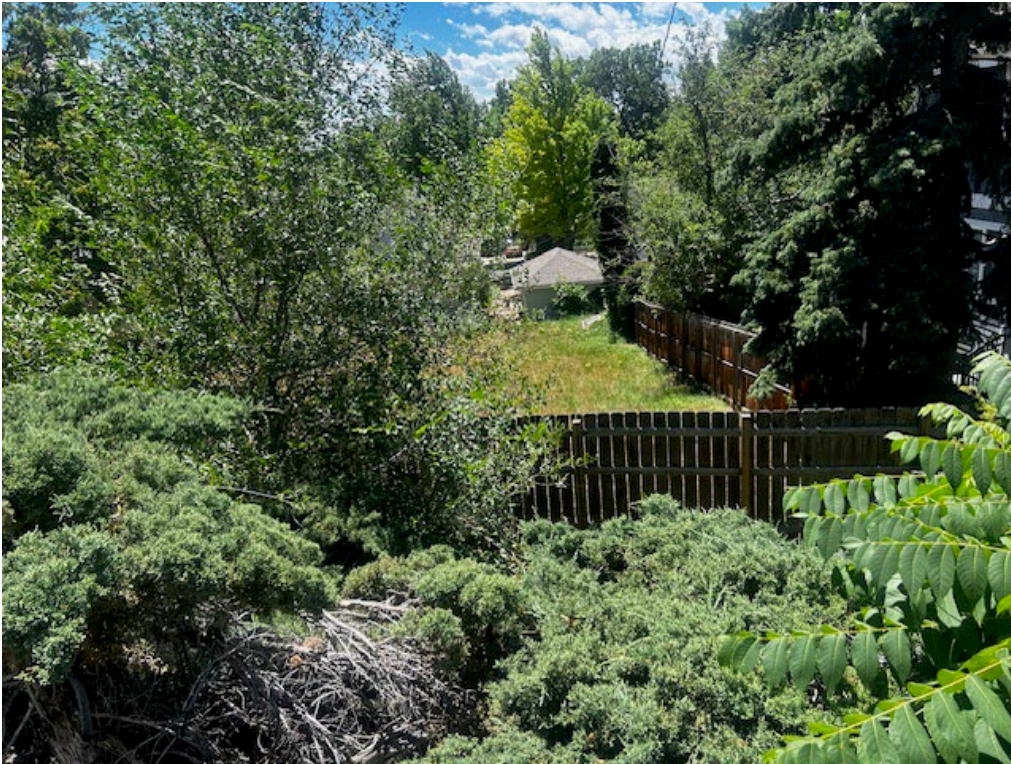
the proposed project at 2050 mesa drive is a single family three story detached dwelling in the current RMX-1 zone.... this application is a request for a minor variance from the requirements of the side yard bulk plane ordinance and is the only variance required.... the project is otherwise in conformance with RMX-1 zoning requirements and requirements of ordinance 8579 [attachment B]....

	proposed	allowed
lot area.....	4403 square feet	
building coverage.....	1790 square feet	1805 square feet
total F.A.R. area.....	2595 square feet	3030 square feet
upper level.....	719 square feet	
mid level.....	1460 square feet	[including garage]
lower level.....	416 square feet	





2050 Mesa site photos:



View of site from Mesa looking south



View from site looking south



View from site looking north to Mesa



View from site looking east



View from site looking west



ATTACHMENT A (1 of 2) 4

Vicki Garey

From: Holmes, Brian <HolmesB@bouldercolorado.gov>  
Sent: Wednesday, July 17, 2019 5:01 PM  
To: Macon Jobs  
Cc: cdean4@mindspring.com; pamomccollum@yahoo.com; Ferro, Charles  
Subject: RE: Christopher Melton Re: City of Boulder Correspondence on 2050 Mesa Drive  
  
Importance: High

Mr. Melton-

Thank you for your continued patience as your recent inquiries about a Site Review for consideration of a height modification and a possible Board of Zoning Adjustment variance for the property addressed as 2050 Mesa Drive have been researched by city staff. After much time spent investigating and discussing the relevant details associated with this matter, including with the input from the City Attorney's Office directly, the following reflects the issues surrounding 2050 Mesa Drive and the conclusions staff have reached based upon our understanding of the situation and from available city records.

To begin with, staff researched the associated Planned Unit Development (PUD) approval processed as case P-86-35, a proposal that is described as:

PUD } "A Planned Unit Development to permit the construction of a second single family detached structure on an 8863 sq. ft. lot. Variation from the land use regulations is a reduction in the front setback adjacent to Mesa Drive from 25 feet to 2 feet to allow for construction of a carport and deck".

At the time of the PUD review the property was zoned Medium Density- Established (MR-E), a zoning district that had a minimum lot area requirement of 6,000 sf per 9-3-2 B.R.C. 1981 and where, per 9-3-33 B.R.C. 1981, there was a path to consider subdividing a lot where the resulting lots would each be less than 6,000 sq. ft.. For context, the present day zoning designation for 2050 Mesa Drive is Residential- Mixed 1 (RMX-1) a zoning district that also has a minimum lot area requirement of 6,000 sq. ft.

SUB. DIV. } Subsequent to the PUD approval of P-86-35, the Upland Subdivision request (a proposal to create Lots A and B of the Upland Subdivision) was ultimately considered and approved (recorded July 15, 1987) with lots A and B that were 4,403 sf and 4,513 sf respectively. At the time of the subdivision review, lots A and B, despite being less than 6,000 sq. ft., were not considered to be 'nonconforming lots' because, consistent with the relevant "Nonconforming Lot" definition from that time, the lot size was approved as a part of a 'planned unit.' Here is that definition:

"Nonconforming Lot" means any lot that does not conform to the minimum lot area or frontage upon a public street required by Chapters 9-3 or 9-5, B.R.C. 1981, unless the nonconformity was established as part of a planned unit under Chapter 9-4, B.R.C. 1981." (emphasis added)

In researching the matter more recently, staff notes the specific language from the original PUD Notice of Disposition states the following:

"Pursuant to Section 9-4-8 of the Land Use Regulations (Boulder Revised Code, 1981), this approval shall expire 9/24/86 unless development has proceeded as specified in Section 9-4-8"

↑ PUD

It is noted that the disposition of approval indicates an expiration date of 9/24/86 which predates the approval date of 10/15/86. This is believed to a typographical error. It is also believed that the referenced date should have been

9/24/89. Section 9-4-8 B.R.C. 1981 of the city's code at the time provided three years before such an approval expires. Regardless, a search through city records does not yield clear evidence that the development anticipated through P-86-35 was acted upon by way of issued building permits. The absence of issued permits leads staff to conclude that the PUD approval has expired.

With the determination that the PUD has expired, it is also the conclusion of staff that the lots are no longer exempt from being considered as 'nonconforming.' In other words, with the conclusion that the PUD is no longer valid, then the specific exemption for substandard lots established by way of a PUD is no longer applicable. The result of this conclusion is that the two lots in question would each be viewed, using present day terminology, as a "nonstandard lot" as defined using the current 9-16 B.R.C. 1981 definition. For your reference that definition is as follows:

*"Nonstandard lot' means any lot that does not conform to the minimum lot area requirement of Section 9-8-1, "Schedule of Intensity Standards," B.R.C. 1981, or frontage upon a public street required by Section 9-12-12, "Standards for Lots and Public Improvements," B.R.C. 1981, unless the nonstandard nature of the lot was approved as part of a planned unit development or a site review."*

When considering a present day pair of 'non-standard' lots where there is no valid PUD in place, using the General Provisions of 9-9-2 B.R.C. 1981 or, more specifically, the merger provisions per 9-9-2 (c)(2) B.R.C. 1981 appear to apply. For your review, here is the language from 9-9-2 (c)(2) B.R.C. 1981 that staff is drawing from:

*"A nonstandard lot or parcel and a contiguous lot or parcel, whether nonstandard or conforming, in all zoning districts except RR-1, RR-2, and RE shall be deemed merged as one building lot if such lots have been held under one ownership continuously at any time since February 8, 1984." (emphasis added)*

Based upon a review of available property records, it appears that both 2050 Mesa Drive and 2049 Bluff Street, each less than the minimum 6,000 sq. ft. lot area requirement, have been held under one ownership continuously since February 8, 1984. As a result, it is the conclusion of the Planning Department that 2050 Mesa Drive and 2049 Bluff Street have been merged and that there are not two separate buildable lots.

Charles Ferro, Development Review Manager (Cc'd on this email) and I can be available to discuss these conclusions with you and your clients. Feel free to contact either Charles at 303/441-4012 or myself at 303/441-3212, or by email if you would like to schedule either a teleconference (assuming that you are still away from Boulder), or an in-person meeting at your soonest convenience if you are currently in Colorado.

Best,

Brian

**Brian Holmes**  
Senior Planner / Zoning Administrator



**City of Boulder**  
**Planning & Development Services**

[holmesb@bouldercolorado.gov](mailto:holmesb@bouldercolorado.gov)

Department of Planning  
1739 Broadway | PO Box 791 | Boulder, CO 80306  
[Bouldercolorado.gov](http://Bouldercolorado.gov)

ORDINANCE 8579

1  
2  
3 AN ORDINANCE AMENDING TITLE 9, "LAND USE CODE,"  
4 B.R.C. 1981, BY GRANTING EXEMPTIONS TO THE CITY'S  
5 LAND USE CODE STANDARDS FOR PROPERTIES  
6 LOCATED AT 2050 MESA DRIVE AND 2049 BLUFF STREET  
7 TO ALLOW DEVELOPMENT OF 2050 MESA DRIVE WITH A  
8 DETACHED SINGLE-FAMILY DWELLING UNIT AND  
9 SETTING FORTH RELATED DETAILS.

10  
11 WHEREAS, THE CITY COUNCIL OF THE CITY OF BOULDER, COLORADO,  
12 FINDS AND RECITES:

- 13  
14 A. The city approved planned unit development (P-86-35) called "Upland PUD" on  
15 October 15, 1986 (the "PUD") for the property described as Lot A and Lot B,  
16 Upland Subdivision, City Boulder, County of Boulder, State of Colorado (the  
17 "Property"). Lot A has an address of 2050 Mesa Drive, and Lot B has an address  
18 of 2049 Bluff Street. A detached single-family dwelling unit existed on the  
19 Property at the time of the PUD approval and the PUD permitted construction of a  
20 second detached single-family dwelling unit and subdivision of the Property.  
21  
22 B. On June 29, 1987, the city approved the Upland Subdivision, City of Boulder,  
23 County of Boulder, State of Colorado (the "Subdivision"). The Subdivision split  
24 the PUD Property and created Lot A and Lot B, Upland Subdivision ("Lot A" and  
25 "Lot B" respectively).  
C. The existing detached single-family home is located on Lot B and is considered to  
have historical value.

- 1 D. The second detached single-family dwelling unit that was approved under the PUD  
2 was approved to be located on Lot A but has not been constructed. Lot A remains  
3 vacant.
- 4 E. Pursuant to Section 9-4-8, B.R.C. 1981, as in effect at the time of the PUD approval,  
5 the PUD approval expired three years after the date of final approval because no  
6 building permit or certificate of completion was issued for the PUD development  
7 within that time frame.
- 8 F. Lot A and Lot B have both been owned by Calisle S. Dean (the “Owner”) since  
9 December 21, 1987, and are zoned RMX-1.
- 10 G. Lot A was platted 4,403 square feet in size. Lot B was platted 4,513 square feet in  
11 size. Neither lot meets the 6,000 square feet minimum lot size requirement for the  
12 RMX-1 zone.
- 13 H. The city contends that the Boulder Revised Code considers Lot A and Lot B as  
14 nonstandard lots and, pursuant to Section 9-9-2(c), “Parcel as Building Lots and  
15 Merger of Nonstandard Lots or Parcels,” B.R.C. 1981, deems them merged as one  
16 building lot preventing both sale of Lot A separate from Lot B and construction of  
17 a detached single-family dwelling unit on Lot A. The current Boulder Revised  
18 Code no longer allows approval of a subdivision as approved under the PUD in  
19 1986.
- 20 I. The Owner disagrees with the city’s interpretation of the Boulder Revised Code  
21 and contends that Lot A and Lot B are not nonstandard lots. In addition, the Owner  
22 contends that if the lots were considered merged, the city owes the Owner  
23 compensation for a taking under the United States and Colorado constitutions  
24  
25

1           asserting that the city’s refusal to permit development of Lot A deprives him of  
2           substantially all value of Lot A.

3           J.       The Owner filed Civil Action captioned *Dean v. City of Boulder*, 2022CV30805  
4           (Colo. 20<sup>th</sup> Dist. Boulder County) (the “Litigation”), seeking declaratory relief in  
5           the form of a determination that the Owner can develop a single-family dwelling  
6           unit on Lot A in compliance with the current code and, in the alternative, just  
7           compensation for a taking under the United States and Colorado constitutions.

8           K.       The city and the Owner wish to resolve their differences regarding future  
9           redevelopment of Lot A.

10          L.       The city council is of the opinion that the city’s interest will continue to be protected  
11          through the adoption of this ordinance, that adoption of this ordinance is consistent  
12          with the goals and policies of the Boulder Valley Comprehensive Plan, and that it  
13          is in the public interest to settle the Litigation by approving exemptions to Title 9,  
14          “Land Use Code,” B.R.C. 1981.

15          M.       In particular, this ordinance would allow development consistent with the BVCP  
16          land use designation of the Property of Mixed Density Residential (MXR) which is  
17          a designation found in older downtown neighborhoods that were developed with  
18          single-family homes but for a time were zoned for higher densities and may include  
19          a variety of housing types and densities within a single block. The city’s goal is to  
20          preserve the current neighborhood character and mix of housing types and not  
21          exacerbate traffic and parking problems. The designation anticipates some new  
22          housing units to be added. This ordinance allows for addition of one housing unit  
23          in a block where most properties have been subdivided and developed similarly to  
24          in a block where most properties have been subdivided and developed similarly to  
25

1 the development approved and anticipated in the PUD. Addition of one single-  
2 family dwelling unit on Lot A would be consistent with the MXR land use  
3 designation and existing character of the area and would not exacerbate traffic and  
4 parking problems in the area. In addition, this ordinance would create additional  
5 housing in the community and provide enhanced community benefit through an  
6 increased payment into the city's affordable housing fund and pursuit of  
7 landmarking of the existing historic single-family home on Lot B consistent with  
8 BVCP policies 1.11, 1.12, 2.27, 2.30, and 7.01.  
9

10 BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF BOULDER,  
11 COLORADO:

12 Section 1. The city council hereby exempts the PUD from the past expiration under the  
13 Boulder Revised Code and effectively reapproves the PUD with a new approval date that shall  
14 be the same date as the date of approval of a settlement agreement by the Boulder District Court  
15 in the Litigation. This shall allow Lot A to be developed as a separate building lot with a  
16 detached single-family dwelling unit and sold separately from Lot B. The detached single-  
17 family dwelling unit on Lot A may be built with a principal building setback to the Mesa Drive  
18 lot line of no less than 2 feet, a principal building side yard setback to the west lot line of no less  
19 than 4 feet and to the east lot line of no less than 9 feet, and a principal building height of no  
20 more than 35 feet (as determined under the Boulder Revised Code), but shall otherwise be  
21 subject to standards in Title 9, "Land Use Code," B.R.C. 1981, as in effect at the time of the  
22 filing of any future application, including floor area ratio standards and the requirements for  
23 development progress for site reviews under Section 9-2-12, B.R.C. 1981. Construction of a  
24 detached single-family dwelling unit on Lot A shall not require a site review amendment nor  
25

1 review by the board of zoning adjustment, even if the design differs from that approved in 1986,  
2 provided that the development meets by-right standards of the Boulder Revised Code except as  
3 specifically modified by this ordinance. This ordinance shall not prevent the Owner from filing a  
4 site review or variance request to modify or vary Title 9, “Land Use Code,” B.R.C. 1981,  
5 standards that may be modified under those review processes.

6 Section 2. The exemptions from Title 9, “Land Use Code,” B.R.C. 1981, granted in  
7 Section 1 of this ordinance shall be conditioned upon the following: **Prior to issuance of a**  
8 **building permit** for a new detached single-family dwelling unit on Lot A:

- 9
- 10 (1) The Owner shall satisfy the inclusionary housing requirement under  
11 Chapter 9-13, “Inclusionary Housing,” B.R.C. 1981, as applicable at that  
12 time, for said new detached dwelling unit by making a cash contribution to  
13 the city’s affordable housing fund in an amount that is 150% of the cash-  
14 in-lieu amount that is otherwise required pursuant to the standards of  
15 Chapter 9-13, B.R.C. 1981, except that in no event shall this increased  
16 cash-in-lieu contribution requirement exceed \$70,500; and
- 17 (2) The Owner shall file an application with the city for and thereafter pursue  
18 in good faith designation of the existing detached single-family house on  
19 Lot B as an individual landmark pursuant to the standards of Chapter 9-11,  
20 “Historic Preservation,” B.R.C. 1981.

21 Section 3. This ordinance shall become effective upon the Boulder District Court’s  
22 approval of a settlement agreement in the Litigation, but under no circumstances until thirty days  
23 after final passage.  
24  
25





1 READ ON SECOND READING, PASSED AND ADOPTED this 15th day of June 2023.

2   
3 \_\_\_\_\_  
4 Aaron Brockett,  
5 Mayor

6 Attest:

7   
8 \_\_\_\_\_  
9 Elesha Johnson,  
10 City Clerk

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**City of Boulder Planning and Development Services**  
 1101 Arapahoe Avenue • Boulder, CO 80306  
 Phone: 303-441-1880 • Web: boulderplandevlop.net

# BOARD OF ZONING ADJUSTMENT (BOZA)

## VARIANCE APPLICATION FORM

**APPLICATION DEADLINE IS THE SECOND MONDAY OF EACH MONTH.  
 MEETING DATE IS 4PM (MST) ON THE SECOND TUESDAY OF THE FOLLOWING MONTH.**

*\*Submittal of inaccurate or incomplete information and materials may result in rejection or delay of the application.\**

### GENERAL DATA

(To be completed in full by the applicant.)

- Street Address or General Location of Property: 1313 7th Street, Boulder Colorado 80302
- Legal Description: Lot \_\_\_\_\_ Block \_\_\_\_\_ Subdivision Buena Vista Heights (Or attach description.)
- Lot Size: 5003 SF
- Existing Use of Property: single family residence
- Detailed Description of Proposal (Specific Variance[s] Requested Including All Pertinent Numerical Values (e.g.: Existing, Required and Proposed Setbacks for the Subject Setback Variance):  
Remove existing roof from and install new roof to a portion of an existing home that is positioned within a required rear yard setback. There is no new floor area proposed. The new roof will be taller than the existing roof. The new roof will be compliant with all other planning and zoning criteria, including height, solar access and bulk plane

*Total gross floor area existing: 2319 SF	*Total gross floor area proposed: 2319 SF
*Total gross building coverage existing: 1056 SF	*Total gross building coverage proposed: 1056 SF
*Building height existing: 15'-9"	*Building height proposed: 20'-8"

\*See definitions in Section 9-16-1, B.R.C. 1981.

- ◆ **Name of Owner:** Fred and Lisa Corrado
- Address: 1313 7th Street Telephone: 203-233-9523
- City: Boulder State: CO Zip Code: 80302 Email: lisa@lisacorrado.com
- ◆ **Name of Contact (if other than owner):** Kyle Callahan Clearwater design studio
- Address: 2975 Valmont Road, suite 100 Telephone: 303-545-2007
- City: Boulder State: Colorado Zip Code: 80301 Email: kyle@clearwaterdesignstudio.com

**APPLICATION TYPES (Check All That Apply For This Application)**

- Setback (BRC 9-7-1)
- Porch Setback & Size (BRC 9-7-4)
- Building Separation (BRC 9-7-1)
- Bulk Plane (BRC 9-7-9)
- Side Yard Wall Articulation (BRC 9-7-10)
- Building Coverage (BRC 9-7-11 or BRC 9-10)
- Floor Area Ratio (BRC 9-8-2)
- Parking in Front Yard Landscape Setback (BRC 9-7-1 & 9-9-6)
- Size and Parking Setback Requirements for Accessory Units (BRC 9-6-4)
- Cumulative Accessory Building Coverage (BRC 9-7-8)
- Mobile Home Spacing Variance (BRC 9-7-13)
- Use of Mobile Homes for Non-Residential Purposes (BRC 10-12-6)
- Solar Exception (BRC 9-9-17)
- Sign Variance (BRC 9-9-21)
- Fence and Wall Variance (BRC 9-9-15)

## **APPLICATION REQUIREMENTS**

All variance applications are electronic submittal and review. Visit the Planning & Development Services Online Center for additional information & guidance on the application process and how to apply. As a minimum, the following items MUST ultimately be provided for an application to be considered complete:

- A completed and signed BOZA Application Form;
- If the applicant is other than owner(s), a written consent of the owner(s) of the property for which the variance is requested;
- A detailed written statement thoroughly describing the variance request(s) and addressing all pertinent review criteria for approval – see *BOZA Info & Criteria Guide*;
- A signed and stamped Improvement Location Certificate or Site Improvement Survey and legal description by a registered surveyor;
- A site development plan including setbacks, building elevations, interior layout/floor plans and any other pertinent exhibits;
- A demolition plan clearly differentiating between existing/remaining and proposed portions of the structure(s);
- Any other information pertinent to the variance request (e.g. neighbor letters, photos, historic records/approvals, renderings, etc.);
- A completed and signed ‘Sign Posting Acknowledgement Form’ *Note: The applicant is responsible for posting the property in compliance with city requirements. Obtaining sign(s) will be messaged to an applicant once it has been placed on an agenda. The applicant will be responsible for posting the required sign(s) within 10 days of the hearing date. Failure to post the required sign(s) may result in the postponement of the hearing date.*
- A Board of Zoning Adjustment application fee (as prescribed in the current ‘Schedule of Fees’ which can be found at [bouldercolorado.gov/plan-develop](http://bouldercolorado.gov/plan-develop)).

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**NOTE: SEE SECTION 9-2-3(I), B.R.C. 1981 FOR VARIANCE EXPIRATION INFORMATION**

Applicant Signature \_\_\_\_\_ Date 08/26/2024

Owner (if other than Applicant) Signature \_\_\_\_\_ Date \_\_\_\_\_



Department of Planning and Development Services  
2045 13th Street  
Boulder, CO 80302

Subject: Board of Zoning Adjustment (BOZA) required documents  
and submittals

This letter is to authorize Kyle Callahan to act as my agent and  
and submit & sign Board of Zoning Adjustment (BOZA) required  
documents and submittals.

I certify that I am the owner of the property for which this applies:

1313 7th Street  
Boulder, CO 80302

My agent can be reached at:

303-956-1443

[kyle@clearwaterdesignstudio.com](mailto:kyle@clearwaterdesignstudio.com)

Owner Signature

DocuSigned by:  
**LISA CORRADO**  
963EC912CBEC448...

Printed Name    LISA            CORRADO

Date            8/13/2024



## Variance Narrative - 1313 7<sup>th</sup> Street

**Proposal to reconstruct a portion of the existing roof at a higher elevation above that portion of the home that is located within the north side yard and west rear yard setbacks.**



### Variance required

The homeowners for 1313 7<sup>th</sup> street seek relief from the requirements of Boulder Revised code section 9-7-1 Schedule of Form and Bulk Standards. The existing home onsite is being considered under Boulder Revised Code section 9-10-3 (a)(3) Changes to non-standard buildings, which provides for modification to a non-standard building that is not in conformance with the provisions of Chapter 9-7 Form and Bulk Standards.

### Project Background

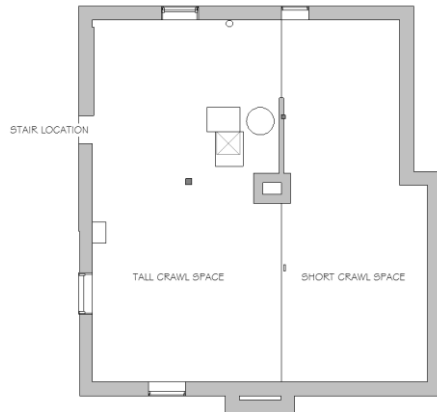
The home at 1313 7<sup>th</sup> street was initially constructed in 1904. The home is built of brick masonry bearing wall construction atop a stone rubble foundation. The basement of the home is partly tall crawl space (6'-2" clear floor to bottom of joists) with a concrete slab, and partly short crawl space (3'-0" tall from dirt floor to bottom of joists). Thus the entire basement is too short to be considered occupiable space by building code standards, which require a minimum height of 7'-0". There are 750 gross square feet in the crawl space, none of which contributes to the floor area of the building due to

the perimeter wall height (<3')

and

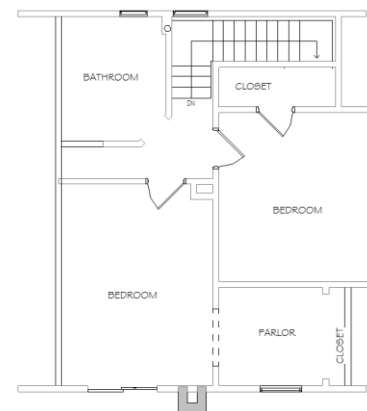
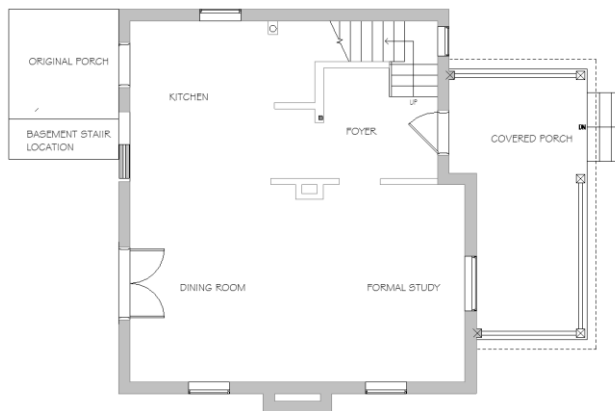
to being unoccupiable space (<7' tall).

The following shows the original crawl space floor plan:



Above the basement are two floors of occupiable space. The main floor perimeter walls are two wythe brick masonry, un-insulated, with lathe and plaster interior finish. The interior walls are wood framed with lathe and plaster finish. Windows are typically single pane, single hung in design. An existing wood “U shaped” stair connects the first floor with the second floor, rising from the foyer to the central hall on the second floor.

The roof is of a gambrel style, with vertical walls facing north and south that define the second-floor perimeter, and sloped walls on the east and west. The steeper sloped walls of the gambrel roof are pitched at a 2 to 1 slope (24/12), while the upper roof is pitched 6/12. The roof encloses the second-floor space. There exists a covered front porch on the east facade. Based upon empirical evidence, it appears that the west side of the home once included a rear covered porch that entered directly into the kitchen, as was typical at the time. The west side also, most likely, had a basement access scuttle protecting the stairs to the basement, which continue to exist – now within the exterior envelope. As near as we can tell, the original first floor plan was as shown on the left below, containing 750 SF of space, and the second floor on the right, with 560 SF of space.

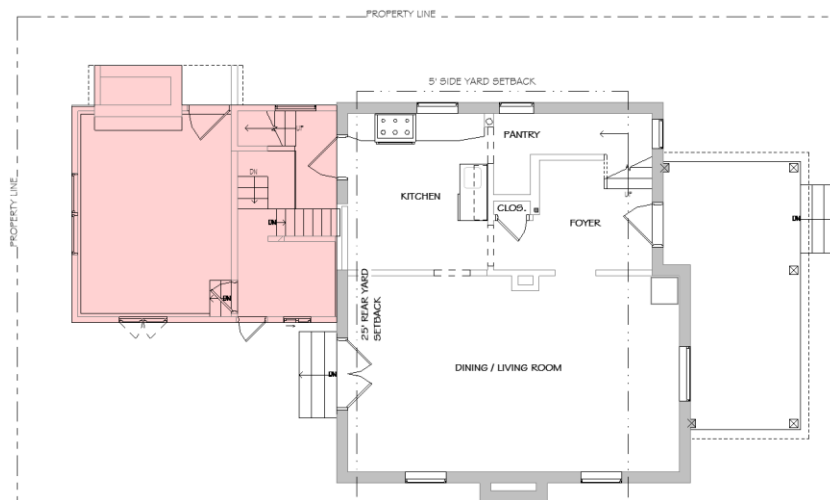


We have been unable to locate any specific records that indicate the dates when the west side porch was removed and the larger, two-story addition was created. Speculation is that it occurred in the late 1920's – early 1930's from assessor records, that indicated a “Garage and

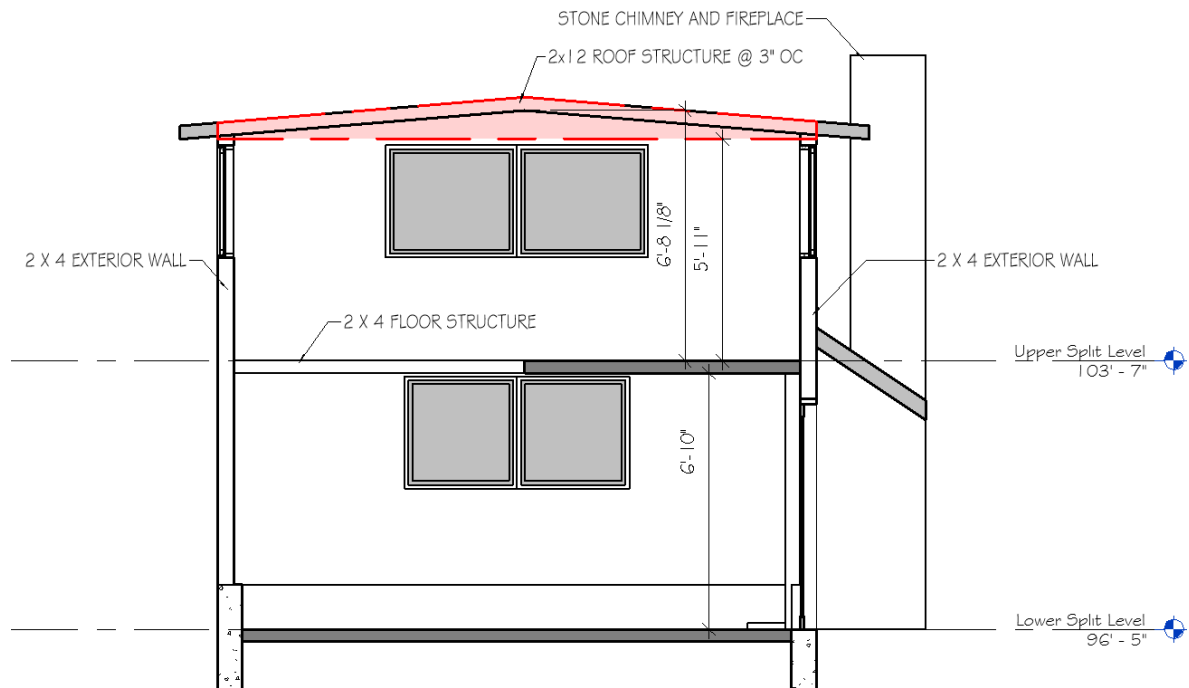




Sleeping Porch". The space proportions are inadequate to meet current garage and parking space requirements, the space being a little less than 15' deep where 19' would be required by code. Further consideration of the appraisal records leads to our understanding that the west addition was remodeled in 1949 and again in 1957, with much volume being added to the house. Because garage portions of the property were not counted as part of the appraised floor area, we assume that the space was converted to finished interior space at that earlier time. We speculate that the owner at the time created the addition herself, being somewhat handy and frugal. The construction techniques and interior proportions and finishes seem to bear witness to that fact. The following image shows the original footprint of the home built in 1904 on the right side of the plan, and the mid-century addition constructed circa 1920's and remodeled in 1949 on the left, shaded light red. From the image, one can see that the addition was constructed entirely within the rear yard setback. The rear yard setback is seen passing through the original home, near the west exterior wall of the original house.



The circa 1920's addition on the northwest side of the original home is two stories in overall height, although neither floor conforms to the building code definition for occupiable floor area. Consider the building cross section below, which cuts through this portion of the house. The light red polygon at the top of the drawing shows the existing ripped 2 x 12 roof structure. Not only does this roof structure fail calculations for a structurally sound roof, it also is positioned only 5'-11" above the floor, where at least 6'-4" is required by code for dropped structural elements (IRC section R305).



The maximum height in the upper room is 6'-8" +/- at the ridge between dropped structural elements, which is lower than the minimum height of 7', which per code must be the height in 50% of the room in order for a sloped roof to be considered covering occupiable space. The roof framing seems to be 2 x 4 ladder framed rafters apparently dropped between the ripped 2 x 12's, which is uninsulated (R2.5 per the existing HERs rating).

This second story of this 1920's addition is the focus of this variance proposal. As currently constructed, both floors of the addition are unoccupiable from a building code standpoint, and the walls and roof are significantly deficient in structural and in thermal performance.

The goals for both the homeowners and the Architect for this project and space are that:

1. the resulting design must retain all existing lower-level and upper-level floor area.
2. the resulting second floor must meet the code definition for occupiable space in terms of the height and size of the rooms.
3. that the roof above be constructed with correctly sized and placed framing members of sufficient strength and placement to ensure long term durability and to be designed to carry the load of a solar array.
4. That the new roof framing be sufficiently insulated to significantly improve the thermal performance of the home.
5. the exterior walls and roof be insulated to maximize the performance of the thermal envelope.
6. space allowing, the second floor is to contain a small but sufficient full bath, and all fixtures in this bath are to comply with the building code for access and spacing.

None of these goals are possible to achieve with the current configuration of the roof. Thus our proposal is to remove the existing roof entirely over this non-conforming portion of the

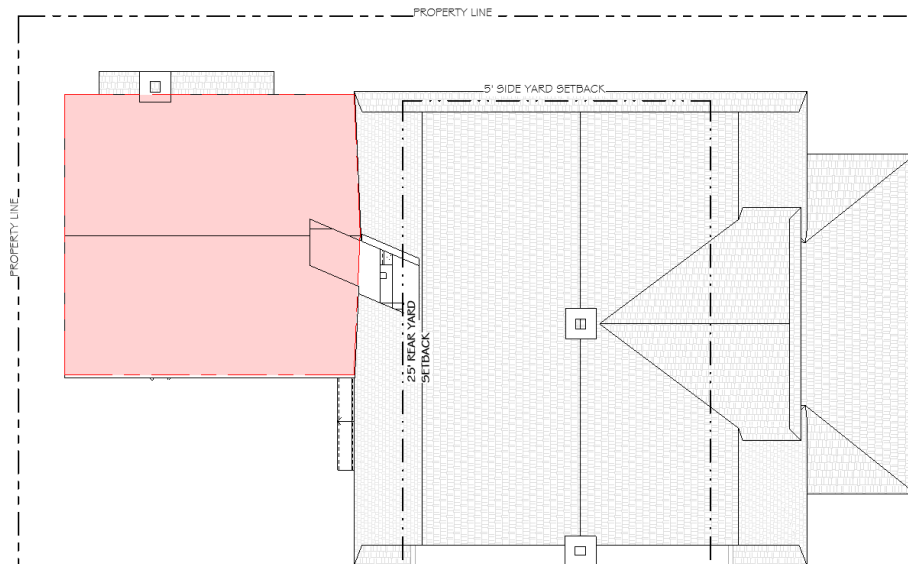


house and construct a new roof in the former roof's location. The new roof would be both higher at the bearing elevation at the perimeter (for head clearance) and steeper (to allow for adequate framing members and closed cell spray foam). We recognize that the roof is constructed entirely within the rear yard setback, and we are seeking a variance from code section 9-7 form and bulk limits and specifically property line yard setbacks to allow our construction of this a new, code compliant, insulated, durable roof within the required rear yard setback.

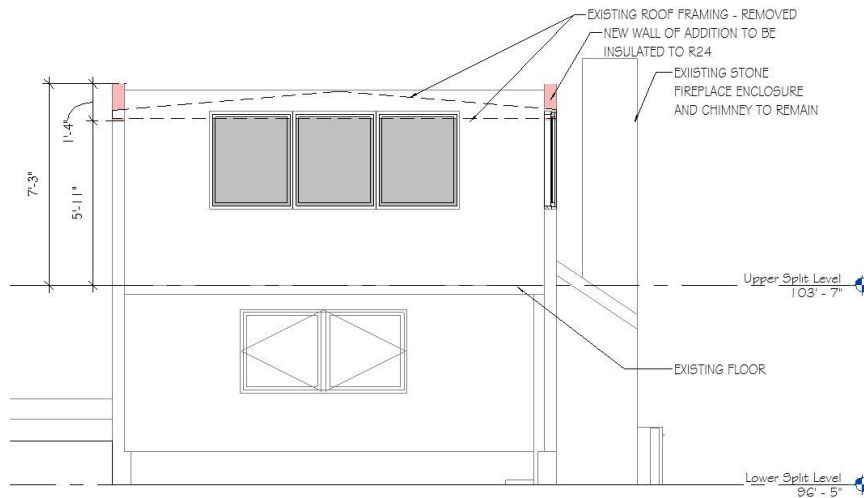
### Proposed Alterations

To achieve our goals stated above – the occupiable roof height and code compliant insulation values, we propose the following scope of work:

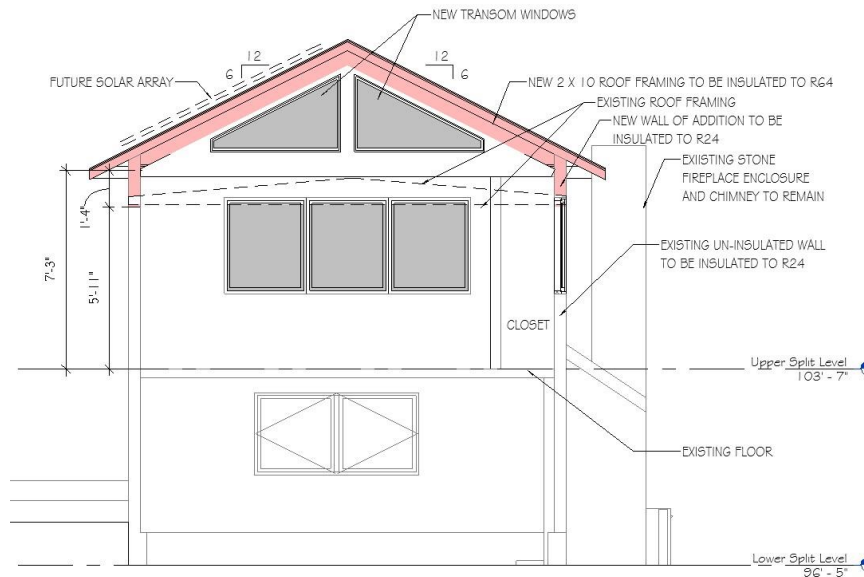
- 1 – Remove the existing low pitched roof plane and roof framing in its entirety shown light red below:



- 2- extend the second floor perimeter walls vertically to provide an interior wall height / structural bearing elevation of 7'-3" +/-, increasing the height of the walls by 1'-4" (refer to building section below):



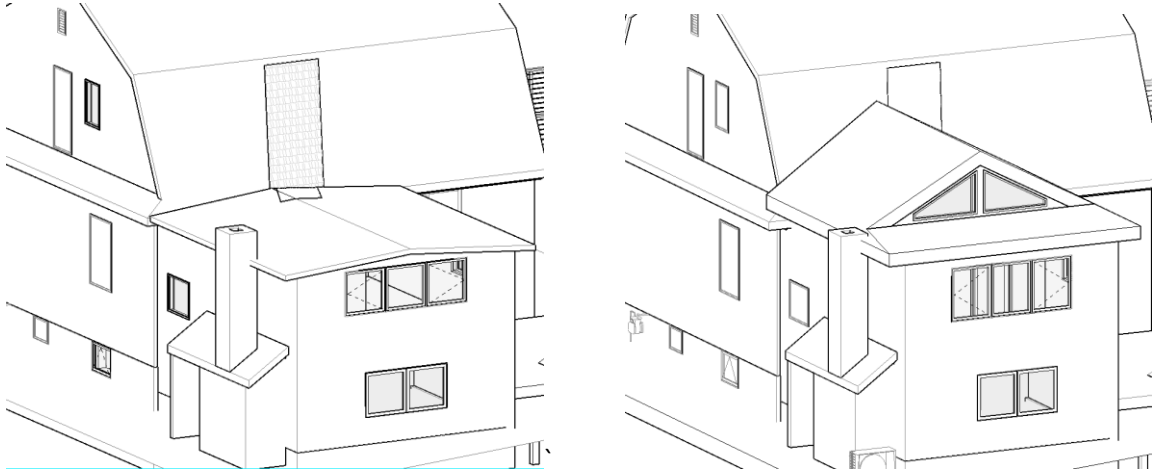
- 3- install new roof framing with a structural ridge beam and 2 x 10 rafters and insulate the roof with closed cell foam insulation for an insulation value of R64.



By doing so, the space will become occupiable floor area and will meet prescriptive performance requirements for insulation values.

The floor area / building coverage / footprint will not be increased.

The roof will create additional volume but will not violate either the solar height/shading limits nor will it violate the bulk plane regulations. The following two images show before (left) and after (right) conditions for the roof design:



### **Off Street Parking**

One item that will be considered by the regulatory agency along with this Variance application is the requirement of off-street parking. Although we recognize the off-street parking criteria as part of the zoning code, we need to convey the following crucial pieces of information:

1. As currently configured, there is no off-street parking associated with this lot. The homeowners park their vehicle in public parking spaces on the street in front of the home.
2. There was a garage on this site – approximately 15' deep – during the time of the County assessment appraisal of the 1920's. That space did and does not conform to current parking space size standards.
3. That garage space seems to have been built without the benefit of a building permit.
4. From inspection of the County assessment records, it appears that the parking garage was reconfigured in 1949 to become interior space – which was prior to the off-street parking requirement being established in Boulder in the 1950's.
5. The current building configuration of existing construction prevents access from the alley. Thus, providing parking at this site would require access from 7<sup>th</sup> street.
6. Creating parking access from 7<sup>th</sup> street would eliminate at least one publicly available space of on-street parking and, most likely, cause the removal of at least one street tree that is recorded in the City database of trees – tree 81009 (catalpa) and tree 57928 (silver maple).

Due to these considerations listed above, we have suggested that off street parking not be included in this Variance consideration. We conferred with planning staff in February of this year and received concurrence that the off street parking would be moot at this site due to these above listed considerations. A copy of an email discussion from February 15 is provided for reference.



### Variance Review Criteria

Per BOZA variance criteria, we are to satisfy the requirements of applicable paragraphs 1 – 4 , and paragraph 5 for the BOZA to grant the variance from the rear yard setback requirements of code section 9-7-1 of the BRC.

Upon review of the criteria for variance approval, we have determined that the proposed roof change will satisfy criteria 1, criteria 2, and criteria 5.

#### Criteria 1- Physical Conditions of the house and lot

(1)(A)(i) There are unusual physical circumstances or conditions, including without limitation, irregularity, narrowness or shallowness of the lot, or exceptional topographical or other physical conditions peculiar to the affected property

The lot is a portion of several lots that were subdivided, we assume, at the time that the Buena Vista Heights subdivision was created. The lot dimensions are roughly 70' x 71.3', yielding a lot size of 5,303 SF as per our surveyor's calculations, where 7,000 SF is the required lot size in the RL-1 zone district.

By removing from consideration for the development of this lot both the front yard and rear yard setbacks (25' each), we are thus left with only approximately 20' depth of developable area on the site. and thus the addition constructed 70 +/- years ago extends into the rear yard setback. It is important to recognize that setback requirements did not exist at that time of construction.

(1)(B) The unusual circumstances or conditions do not exist throughout the neighborhood or zoning district in which the property is located.

Using the City of Boulder emap and performing a visual inspection, we can see several similarly sized and oriented parcels, including the 4 lining the block face between Pleasant and University on the west side of 7<sup>th</sup> street. Far and away, however, the lots in this neighborhood and zone district maintain the more rectangular proportions of +/- 140' deep and 50' wide (a 7,000 SF lot conforming with RL-1 standards). The following is a screenshot from the neighborhood – showing the subject property outlined in green along with the three similar adjacent properties, plus a good portion of the rest of the neighborhood. Most lots retain distinct rectangular proportions.





**(1)(C) Because of such physical circumstances or conditions the property cannot reasonably be developed in conformity with the provisions of this chapter.**

The resulting lot size for this lot is 70' x 70'. Due to an adjacency, the front lot line is on the east, facing 7<sup>th</sup> street. Thus the rear property line is on the west and is interior. The resulting developable area is thus 20' deep, considering 25' front and rear yards. A traditional, more common lot of 50' x 140' dimensions leaves a developable footprint of 35' x 90' deep.

This consideration is coupled with the overriding fact that the building footprint exists currently, and has for +/- 100 years.

The existing building footprint is tucked away west of and entirely behind the original building and is unseen from the public way along 7<sup>th</sup> street.

**(1)(D) Any unnecessary hardship has not been created by the applicant.**

The lot is configured as originally platted. The home has existed as is current since the late 1940's, making it nearly 80 years old. The current residents purchased the property in the spring of 2024. The homeowners did not create this hardship – the existing structure is older than they.

**Criteria 2- Energy Conservation**

**(A) The variance will permit construction of an addition to a building that was constructed before January 1, 1983.**

The home on this site was initially constructed in 1904, and the addition which we choose to modify be replacing the roof seems to have been constructed in the late 1920's, renovated in the late 1940's, although the exact date is unknown. It was without a doubt constructed prior to 1983.

**(B) The proposed addition will be an integral part of the structure of the building.**

The roof that we are seeking the variance to rebuild is certainly integral to the structure. The portion of the roof proposed to be replaced will serve two functions as a component of an energy conservation strategy for the home.

1. By virtue of the framing members used in its construction, we will be creating an insulation cavity within which we will install closed cell foam insulation. This insulation system will provide an insulation value of approximately R64. The current roof provides R2.5, thus nearly a 25x performance boost.
2. The structural capacity, shape and orientation of the existing roof is unacceptable for a high performance photovoltaic solar array. First – the structure of the roof is far under designed to be able to support the additional load of the PV panels. There is no space below the existing structure of the roof to augment its capacity as the roof framing is already too low to consider the space occupiable – additional structure would compound this shortcoming.



3. At a +/- 1/12 pitch, the existing roof is too flat to generate adequate power during at least 4 months of the year, when the sun angle is low, adjacent trees shade the array, and snow would collect on the array and remain. Alternatively, the replacement roof in the proposed design has a steeper pitch, oriented to better collect solar energy during all times of the year.
4. The size of the roof facing south is larger on the proposed roof form than the existing roof – thus providing the opportunity to install a larger array of photovoltaic panels and collect more energy and generate additional power. 4 panels could be installed on the new roof yielding an array with +/- 1,600 W. Assuming that the existing roof could even support a solar array (it can't), only 3 panels could be installed, thus a 33% boost in potential PV production, notwithstanding the performance boost from the new roof form due to a better pitch and orientation.

(C) The proposed addition will qualify as a “solar energy system” as defined in section 9-16, “Definitions”, BRC 1982, or will enable the owner of the building to reduce the net use of energy for heating and cooling purposes by a minimum of 10% over the course of a year of average weather conditions for the entire building.

The new roof form proposed by this variance documentation will create a suitably oriented and sloped roof on this home to support a proposed Photovoltaic solar array as shown on the roof plan. The current roof has neither the appropriate pitch (1/12 pitch) to collect energy, it is also built with framing members that are undersized to the point of not supporting themselves, much less the addition of load imposed by solar panels.

The existing insulation values have been reviewed by the Architect and by the energy rater (Scott Homes Team – Luke Griess) and found to be severely deficient, with the uninsulated roof and minimal wall insulation in the cavities of the existing 2x4 construction. The City of Boulder Energy Conservation Code (COBECC) requires R49 and R20 respectively. Our energy rating team has executed an energy analysis on both the existing construction and the post-construction energy performance attributes. The findings are striking, with this simple change having a profound impact upon the overall energy consumption of the house. Performing an as-built analysis of the existing home, the energy rater has found that it has a HERs rating of an abysmal **378**. Modelling our proposed improvement attributed to the walls, roof, and windows in the proposed alteration finds the HERs rating to decrease to **131**. This reflects a performance enhancement of **69%**.

Inspection of the included baseline (existing as-built conditions) HERs report, page 5, shows that the existing heating and cooling energy load is 2,968.7 therms (296,870 MBTU) and 2,868.5 kWh (9,788 MBTU) for a combined value of **306,658 mbtu**.

Inspection of the included HERs report for the proposed renovation, page 6, shows that the alteration proposed by this variance results in energy consumption for heating and cooling to be 854.4 Therms (85,440 MBTU) and 5,462.5 kWh (18,639 mbtu) for a combined value of **104,079 mbtu** and thus a reduction annually equal to





**202,579 mbtu**, which is a reduction of **66.1%** for the energy requirement to heat and cool the home. Reports from the energy rating team are provided as an attachment to this variance application

(D) The cost of constructing any comparable addition within existing setback lines so as to achieve comparable energy purposes would be substantially greater than the cost of constructing the addition which is proposed for the variance.

The cost of creating a conforming addition is significantly beyond the cost proposed by this variance. Estimates using the City of Boulder's recognized construction cost of \$167 per square foot would amount to approximately \$126,000, without considering the cost of the solar array. The cost for the roof change proposed by this variance, including demolition, framing, drywall, insulation and exterior finish would be closer to \$16,000.

#### **Criteria 5 – Requirements for all variance approvals**

(A) Would not alter the essential character of the neighborhood or district in which the lot is located.

The work proposed by this variance is unseen from the public way and will have no impact on the character of the neighborhood. Conversely, were the homeowner to construct a conforming addition within the defined footprint of the existing setbacks, such change would have a substantial negative impact on the neighborhood and on the house itself by:

- significantly increasing the visual bulk of the structure apparent from 7<sup>th</sup> street.
- Significantly increasing the visual bulk of the structure apparent from neighboring properties both south and west of this existing structure.
- eliminating open yard space and existing mature vegetation.

This proposed change is consistent with houses in the neighborhood, whereas a conforming addition would be an egregious assault on the neighborhood character.

(B) Would not substantially or permanently impair the reasonable use and enjoyment or development of the adjacent property

The neighbors of the residences adjacent to the property have been invited to review the content of this variance proposal and found that the change would have no effect on their use and enjoyment of their properties. A compliant development as alluded to above would have significant impact to their use and enjoyment of their properties, from both a bulk and visual standpoint.

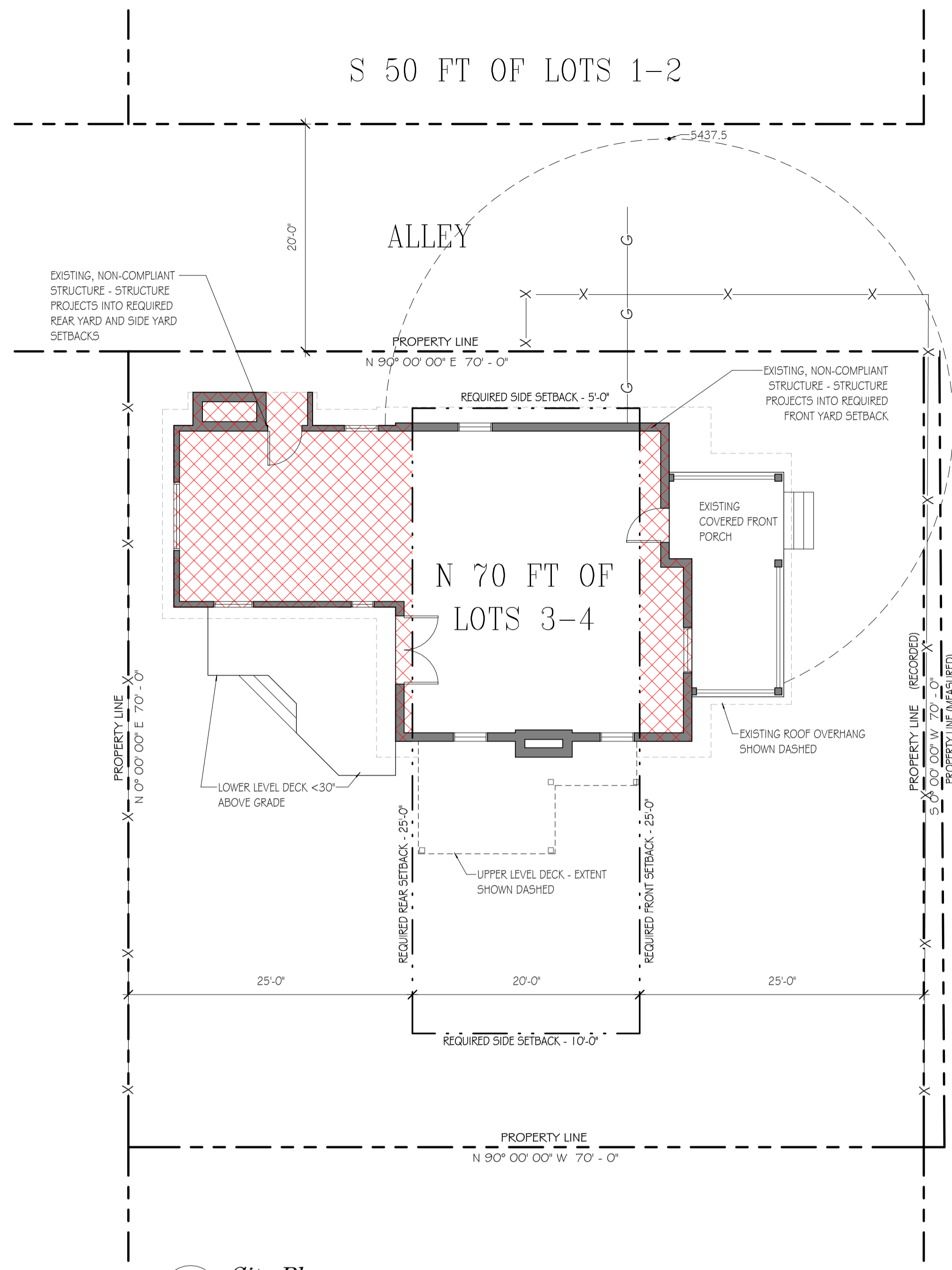
(C) Would be the minimum variance that would afford relief and would be the least modification of the applicable provisions of this title.

The proposal is the minimum variance the homeowner would consider effective in achieving their goals for the home and for the neighborhood.

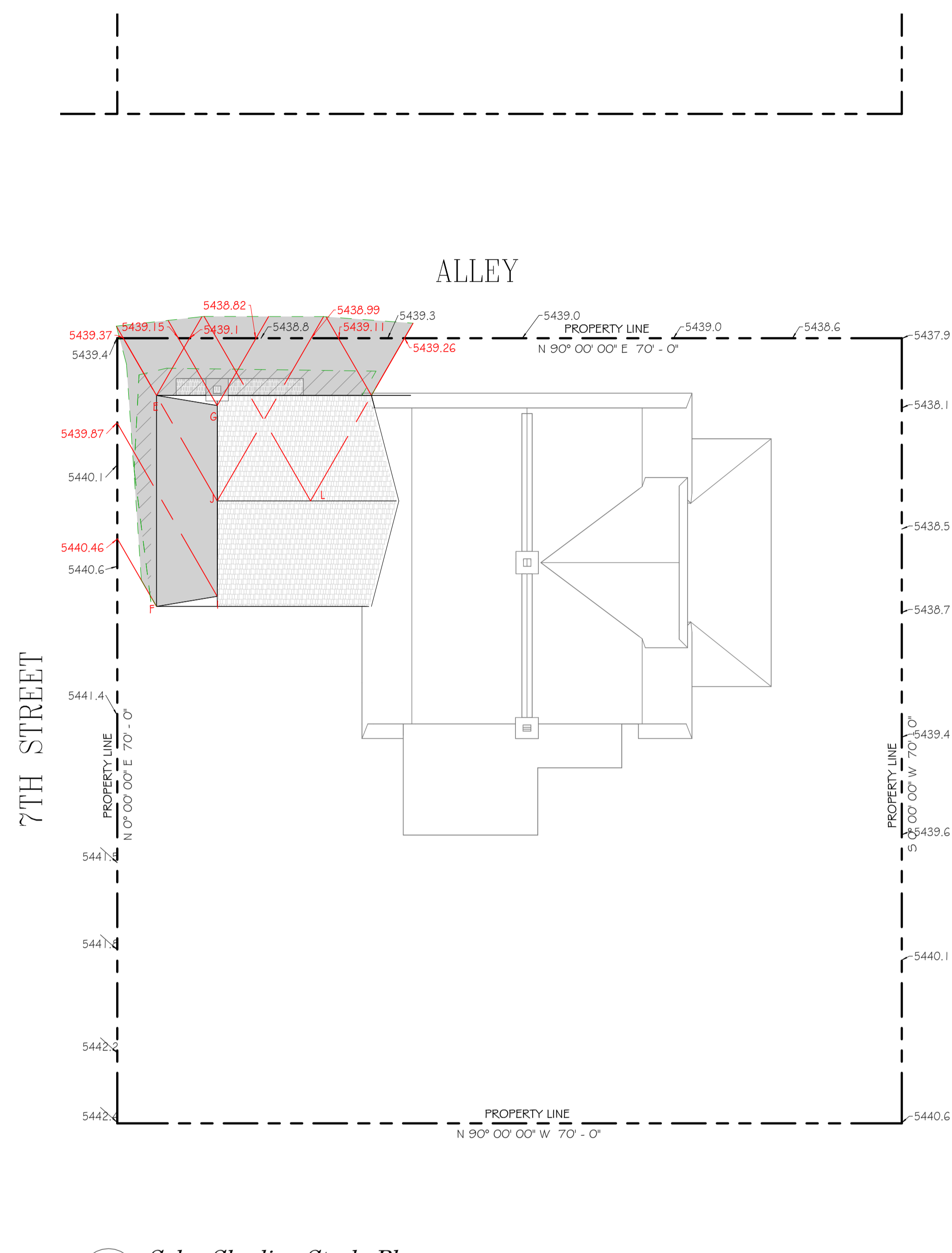
(D) Would not conflict with the provisions of Section 9-9-17, "Solar Access", BRC 1981.

The solar shading impacts have been investigated and found to be compliant as shown on sheet 1 of the included plans.





**1 Site Plan**  
1/8" = 1'-0"

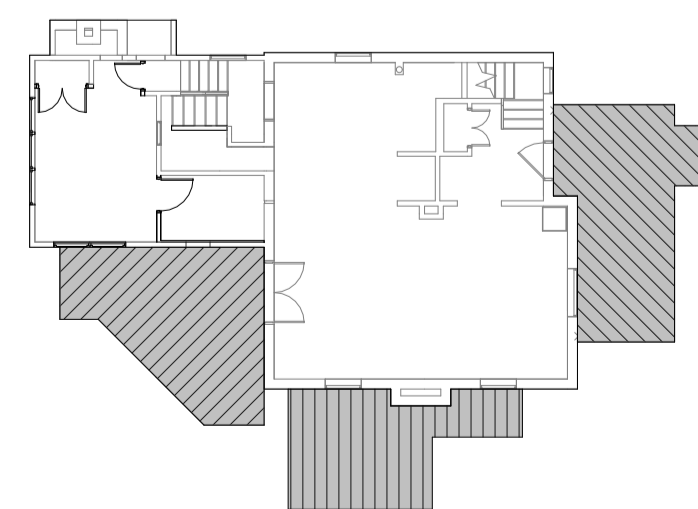


**2 Solar Shading Study Plan**  
1/8" = 1'-0"

**MAXIMUM BUILDING COVERAGE**

PER TABLE 7.2 OF THE BRC, AND LOT SIZE = 5,003 SF, THE MAXIMUM BUILDING COVERAGE IN SQUARE FEET IS CALCULATED BY (LOT SIZE X 0.2) + 1,050. ALLOWABLE BUILDING COVERAGE = 2,050.6 SF.

COVERAGE ELEMENT	COVERAGE	INCLUDED	NOTES	SYMBOL
PRIMARY RESIDENCE	1,056 SF	1,056 SF		[Hatched Box]
COVERED FRONT PORCH	1.85 SF	0 SF	FRONT PORCH EXCEPTION	[Hatched Box]
OPEN UPPER DECK	1.43 SF	0 SF	ADDITIONAL DECK EXCEPTION	[Hatched Box]
OPEN LOWER REAR DECK	1.85 SF	0 SF	< 30" ABOVE GRADE	[Hatched Box]
<b>TOTAL BUILDING COVERAGE</b>		<b>1,056 SF</b>		

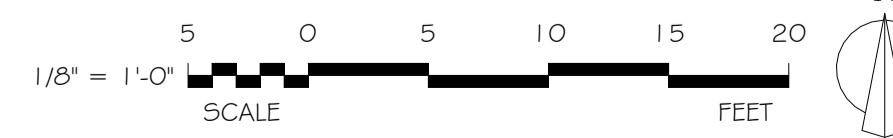


**3 Coverage Plan**  
1/16" = 1'-0"

	A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	
<b>1 Solar Shading / Point Report</b>																
<b>Address: 1313 7th St</b>																
<b>T.O.F. 5442.6 = "plan 100"</b>																
<b>Fence Ht. 12</b>																
<b>Note - Calculated Shadows MUST be shorter than Distance to property line in order to be in compliance</b>																
<b>10:00 AM</b>																
	Point Elevation	Property Line elevation	Relative Height above property line	Shadow Length (calculated)	Distance from Point to PL	delta must be negative										2:00 PM
	Point Elevation	Property Line elevation	Relative Height above property line	Shadow Length (calculated)	Distance from Point to PL	delta must be negative	Point Elevation	Property Line elevation	Relative Height above property line	Shadow Length (calculated)	Distance from Point to PL	delta must be negative				
12	Point E	5453.47	5439.37	14.1	5.565	5.896	-0.331	Point E	5453.47	5439.1	14.37	6.3	5.889	0.4		
13	Point F	5453.47	5440.46	13.01	2.7	7	-4.3	Point F	5453.97	5438.82	15.15	8.3	6.931	1.4		
14	Point G	5453.97	5439.15	14.82	7.473	6.931	0.542	Point G	5453.97	5438.82	15.15	8.3	6.931	1.4		
16	Point I	5453.97	5439.87	14.1	5.6	17.833	-12.3	Point I	5458.16	5438.99	19.17	19.0	16.75	2.3		
17	Point J	5458.16	5439.37	18.79	17.9935	16.75	1.2435	Point J	5458.16	5439.26	18.9	18.3	5.889	12.4		
19	Point L	5458.16	5439	19.16	19.0	5.889	13.1	Point L	5458.16	5439.26	18.9	18.3	5.889	12.4		

**Fred & Lisa Corrado Residence**

Variance to Revise Roof above portion of Non-standard Building



**PLANNING INFORMATION**

**PROJECT ADDRESS:** 1313 7TH STREET BOULDER, CO 80302  
**ZONING CLASSIFICATION:** RESIDENTIAL LOW-1 (RL-1)  
**LEGAL DESCRIPTION:** N 70 FT LOTS 3-4 BLK 1 BUENA VISTA HEIGHTS  
**LOT AREA:** 5,003 SF / 0.11 ACRES  
**CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA:** WIND LOAD 165 MPH (VIR), GROUND SNOW LOAD 40 LBS/SQFT, SEISMIC CATEGORY B, FROST LINE DEPTH 32"  
**UTILITY PROVIDERS:** ELECTRIC XCEL ENERGY, NATURAL GAS XCEL ENERGY, WATER MUNICIPAL, SANITARY MUNICIPAL  
**MAXIMUM HEIGHT:** MAXIMUM ALLOWABLE 29'-4", PROVIDED 20'-8"  
**MAXIMUM HEIGHT LIMITED PER BOULDER REVISED CODE SECTION 9-10-3, TABLE 10-1 FOR NON-STANDARD LOTS**

	REQUIRED	PROVIDED (EXISTING)
NORTH (SIDE)	9'-0" MINIMUM 15'-0"	3'-7"
SOUTH (SIDE)	COMBINED	25'-10"
EAST (FRONT)	25'-0"	22'-1"
WEST (REAR)	25'-0"	3'-11"

**FLOOR AREA**

	EXISTING		NEW		TOTAL	OCCUPIABLE TOTAL	NOTES
	UNFINISHED	FINISHED	UNFINISHED	FINISHED			
BASEMENT	423 SF	0 SF	0 SF	0 SF	423 SF	0 SF	3, 5
SPLIT LOWER LEVEL	0 SF	311 SF	0 SF	0 SF	311 SF	0 SF	4
FIRST FLOOR	0 SF	713 SF	0 SF	0 SF	713 SF	713 SF	
SPLIT UPPER LEVEL	0 SF	226 SF	0 SF	0 SF	226 SF	226 SF	2
SECOND FLOOR	0 SF	646 SF	0 SF	0 SF	646 SF	646 SF	
FRONT PORCH	175 SF	0 SF	0 SF	0 SF	175 SF	0 SF	1
UPPER LEVEL DECK	147 SF	0 SF	0 SF	0 SF	147 SF	0 SF	1
MAIN LEVEL DECK (<30" height)	176 SF	0 SF	0 SF	0 SF	176 SF	0 SF	1
<b>TOTAL</b>	<b>423 SF</b>	<b>1,896 SF</b>	<b>0 SF</b>	<b>0 SF</b>	<b>2,319 SF</b>	<b>1,585 SF</b>	

MAX. ALLOWABLE FLOOR AREA 3,101 SF PROVIDED = 1,585 SF  
 MAX. ALLOWABLE BUILDING COVERAGE 2,051 SF PROVIDED = 1,056 SF

**NOTES:**

- NOT INCLUDED IN TOTALS.
- EXISTING LEVEL NOT OCCUPIABLE - PER IRC R305.1. MAX HEIGHT = 6'-8", BOTTOM OF BEAMS = 5'-10". CEILING HEIGHT TO BECOME OCCUPIABLE PER THIS VARIANCE.
- NOT OCCUPIABLE - PER IRC R305.1. BOTTOM OF CEILING STRUCTURE = 6'-2".
- NOT OCCUPIABLE - PER IRC R305.1. BOTTOM OF CEILING STRUCTURE = 6'-10".
- NO BASEMENT WALL HAS A PERIMETER > 36'.

**BOZA REQUIREMENTS**

**UNUSUAL PHYSICAL CONDITIONS**

- NARROW LOT WITH SETBACKS THAT ONLY PROVIDE 20' OF BUILDING AREA
- BUILDING WAS ORIGINALLY CONSTRUCTED IN 1904 WHEN THERE WASN'T PARKING REQUIREMENTS
- 1930S ADDITION WAS TOO NARROW TO BE CONSIDERED A GARAGE ACCORDING TO CURRENT CODE
- CEILING HEIGHT OF 1930S ADDITION IS TOO LOW TO BE CONSIDERED OCCUPIABLE

**ENERGY PERFORMANCE IMPROVEMENTS**

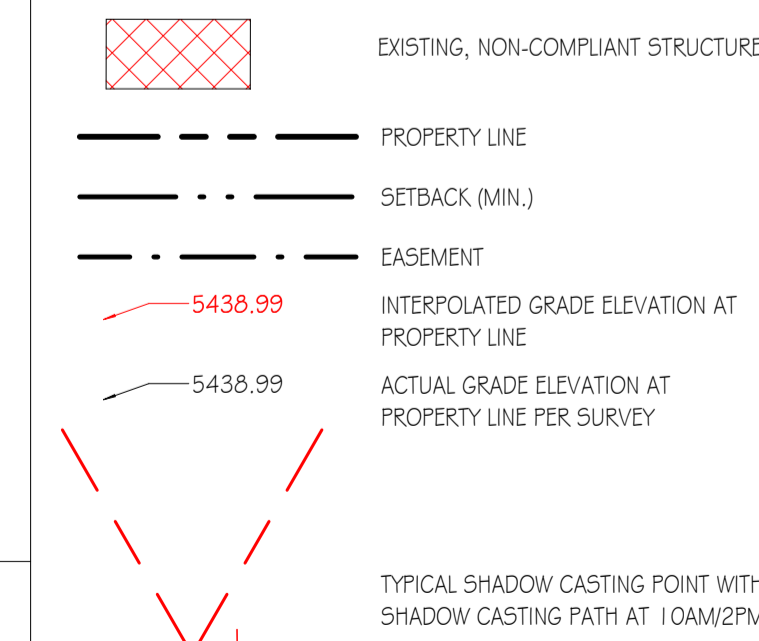
ACCORDING TO CRITERIA 2 (C), THE NET USE OF ENERGY FOR HEATING AND COOLING PURPOSES MUST BE IMPROVED BY A MINIMUM OF 10% OVER THE COURSE OF A YEAR OF AVERAGE WEATHER CONDITIONS FOR THE ENTIRE BUILDING. THE TABLE BELOW SHOWS THE EXISTING AND PROPOSED ENERGY PERFORMANCE AND THE PERCENTAGE IMPROVEMENT.

	BASELINE	PROPOSED	% IMPROVEMENT
HERS	378	131	69%
HEATING + COOLING	306,658 MBTU	104,079 MBTU	66.1%

**GOVERNING REGULATIONS**

City of Boulder Revised Code 1981  
 All other appropriate County, State and Federal regulation including but not limited to:  
 2018 International Building Code  
 2018 International Plumbing Code  
 2018 International Existing Building Code  
 2018 Green Construction Code  
 2018 International Residential Code  
 2018 International Code Council Performance Code  
 2018 International Energy Conservation Code  
 2018 International Swimming Pool and Spa Code  
 2018 International Fuel Gas Code  
 2023 National Electric Code (NEC)  
 2018 International Mechanical Code

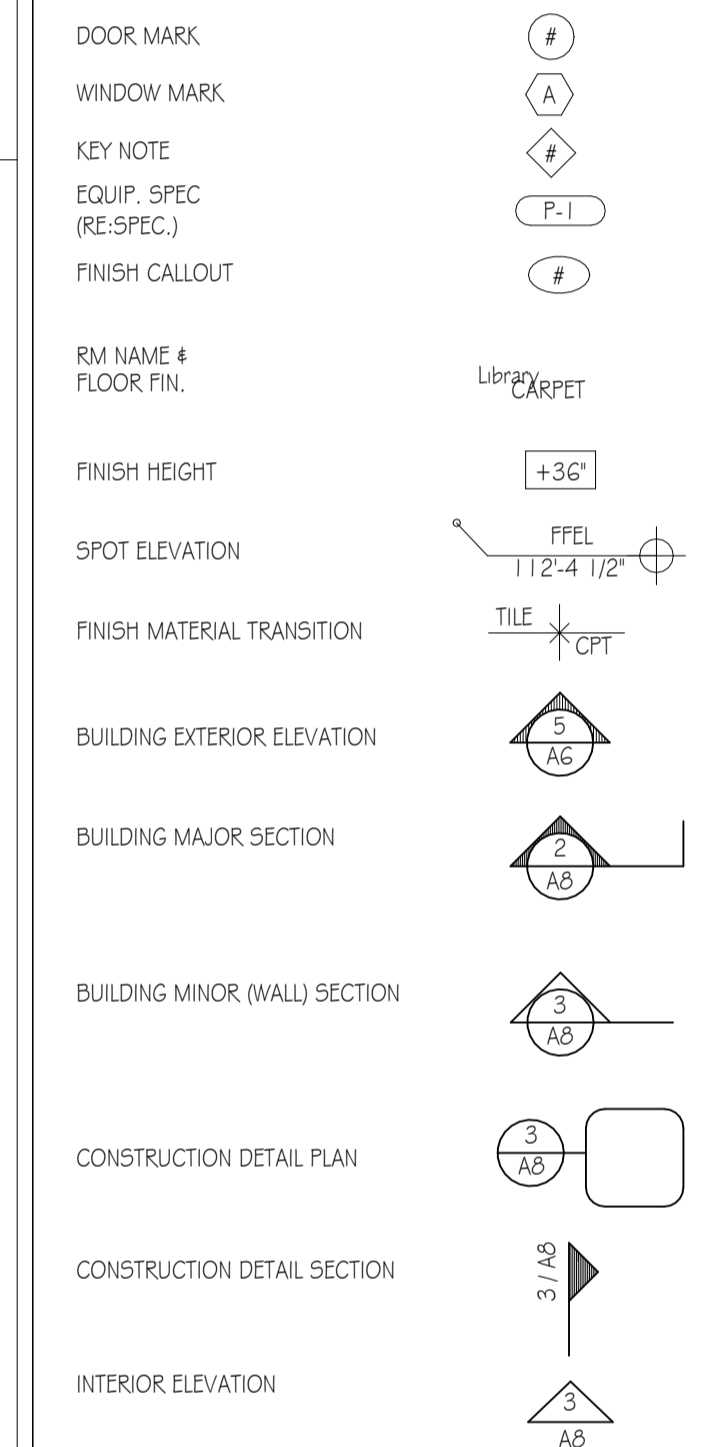
**SITE PLAN SYMBOL LEGEND**



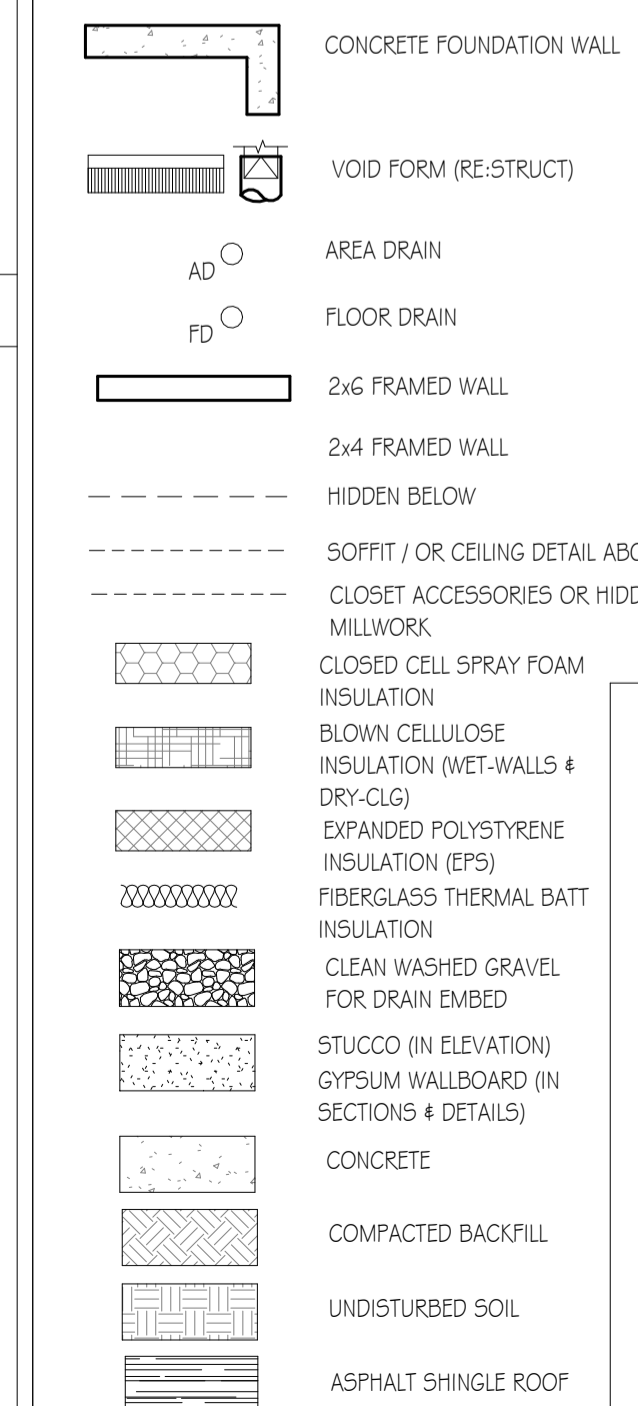
**SHEET INDEX**

- ARCHITECTURAL
- SHEET INDEX, GENERAL NOTES, PLANNING INFORMATION, REGULATORY CODES
  - BASEMENT & MAIN SPLIT LEVEL FLOOR PLANS
  - MAIN & UPPER SPLIT LEVEL FLOOR PLANS
  - ROOF PLAN
  - NORTH EXTERIOR ELEVATION
  - EAST EXTERIOR ELEVATION
  - SOUTH EXTERIOR ELEVATION
  - WEST EXTERIOR ELEVATION
  - CROSS SECTIONS

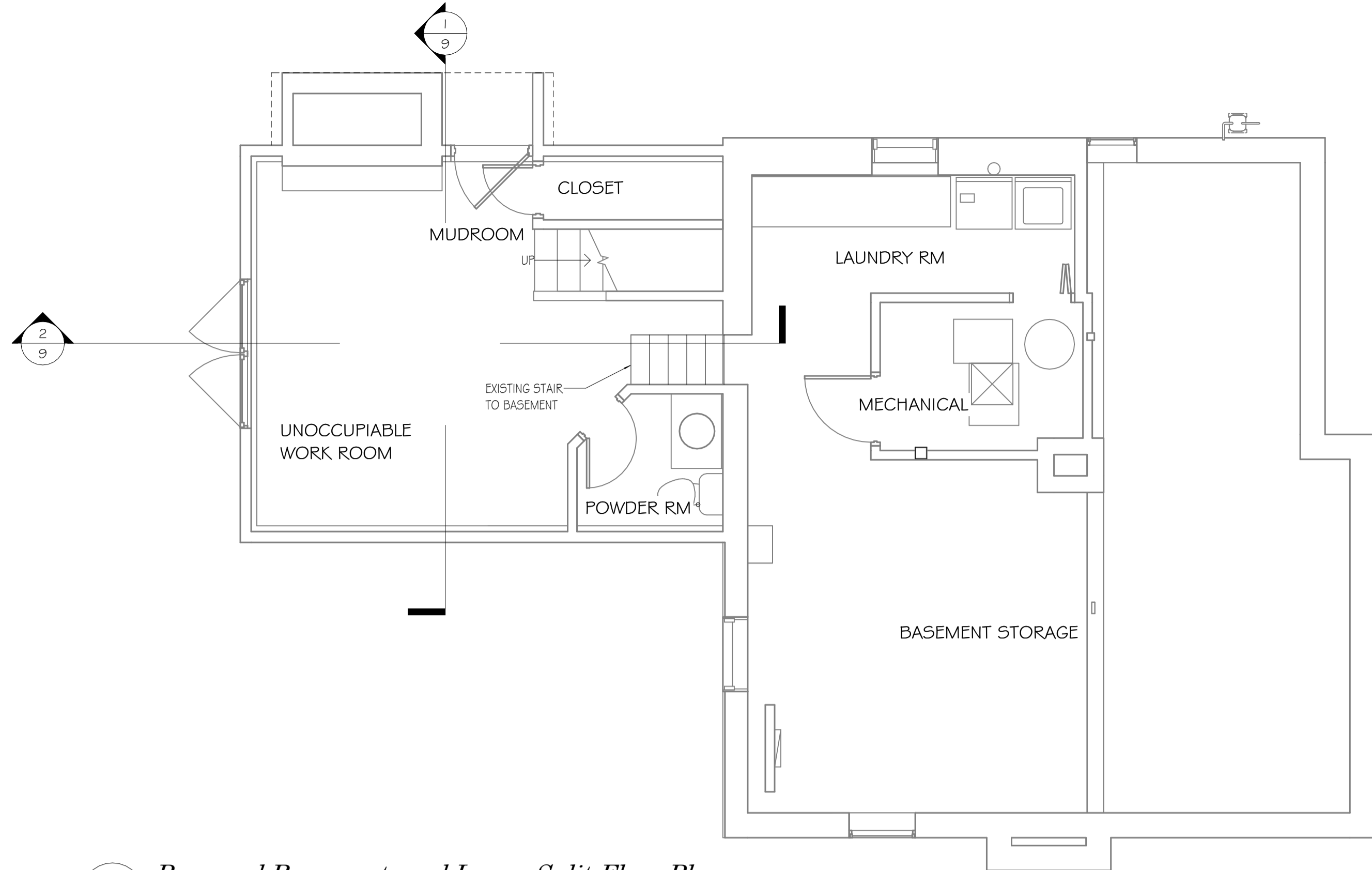
**SYMBOL LEGEND**



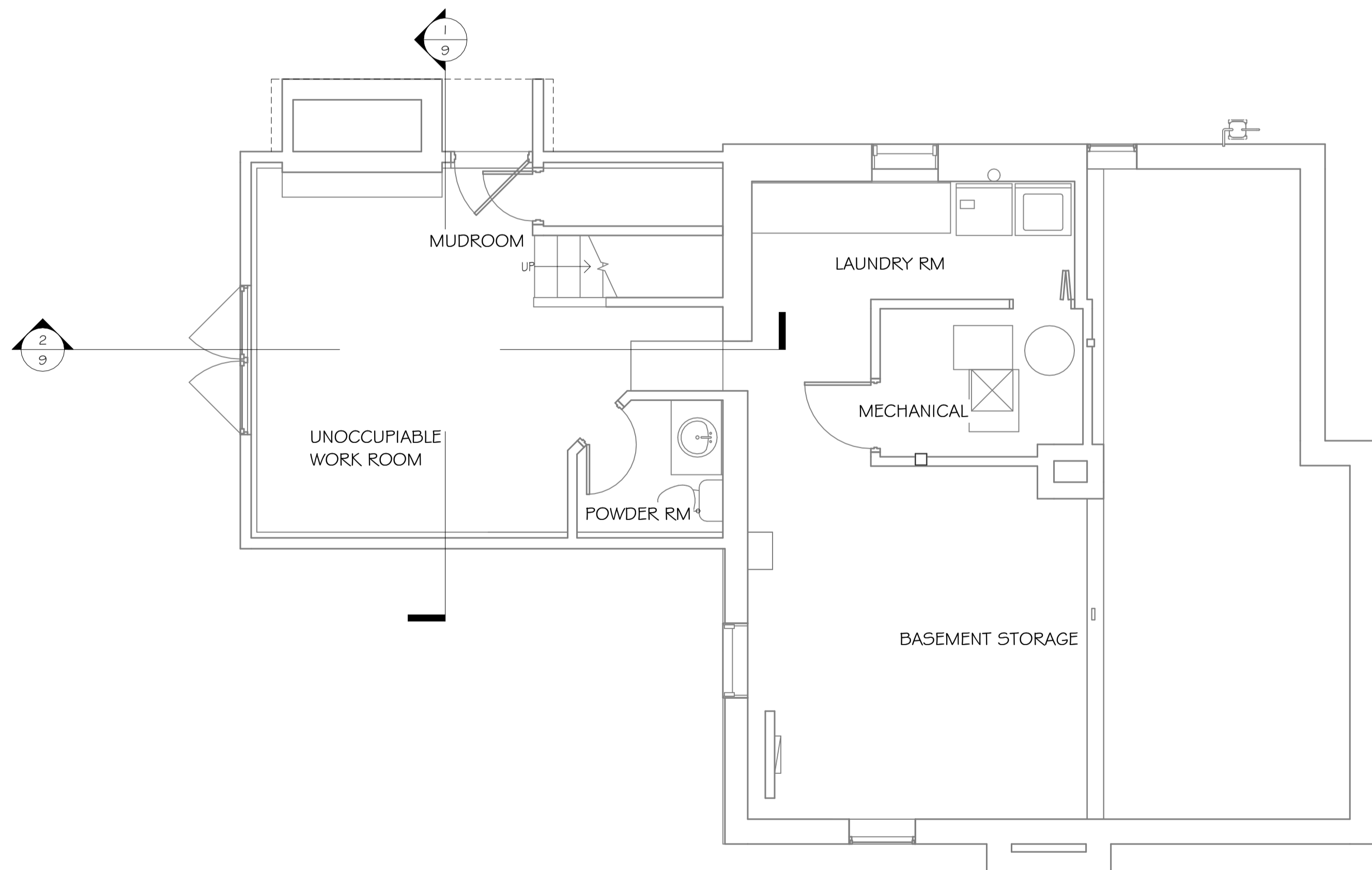
**GENERAL SYMBOL LEGEND**



**SHEET INDEX, GENERAL NOTES, PLANNING INFORMATION, REGULATORY CODES**



**1** *Proposed Basement and Lower Split Floor Plan*  
1/4" = 1'-0"



**2** *Existing Basement and Lower Split Floor Plan*  
1/4" = 1'-0"

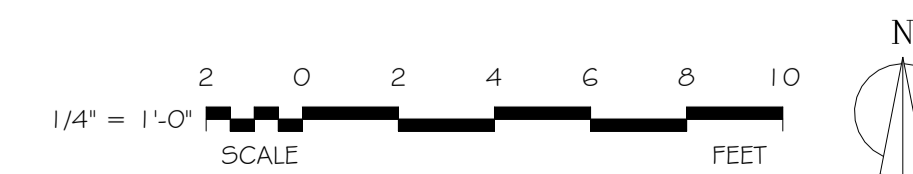
GRAPHIC SYMBOL LEGEND	
	2x4 INTERIOR - WOOD STUD WALL AT 16" OC, 1/2" DRYWALL BOTH SIDES, SECURE TOP AND BOTTOM TO STRUCTURE
	2x6 INTERIOR - WOOD STUD WALL AT 16" OC, 1/2" DRYWALL BOTH SIDES, SECURE TOP AND BOTTOM TO STRUCTURE
	2x6 EXTERIOR - INSULATED WOOD STUD WALL AT 16" OC, 1/2" DRYWALL INTERIOR, 1/2" STRUCTURAL SHEATHING WITH TYVEK, EXTERIOR, INSULATED PER ICC REQTS OR BETTER, W/ EXTERIOR FINISH PER ELEVATIONS
	8" CONCRETE FOUNDATION WALL
	FOUNDATION DRAIN
	NATURAL GAS SUPPLY

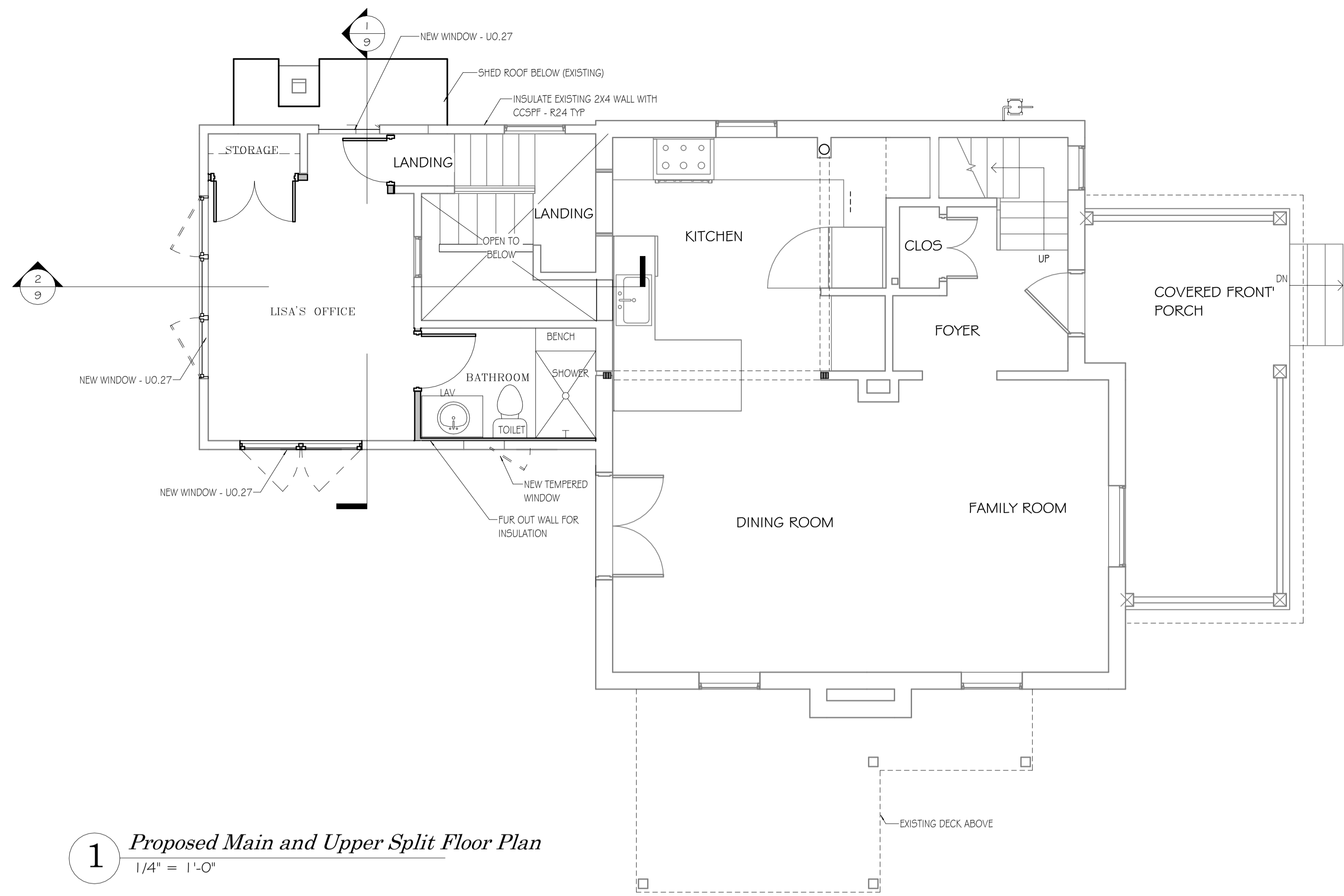


**BASEMENT & MAIN  
SPLIT LEVEL FLOOR  
PLANS**

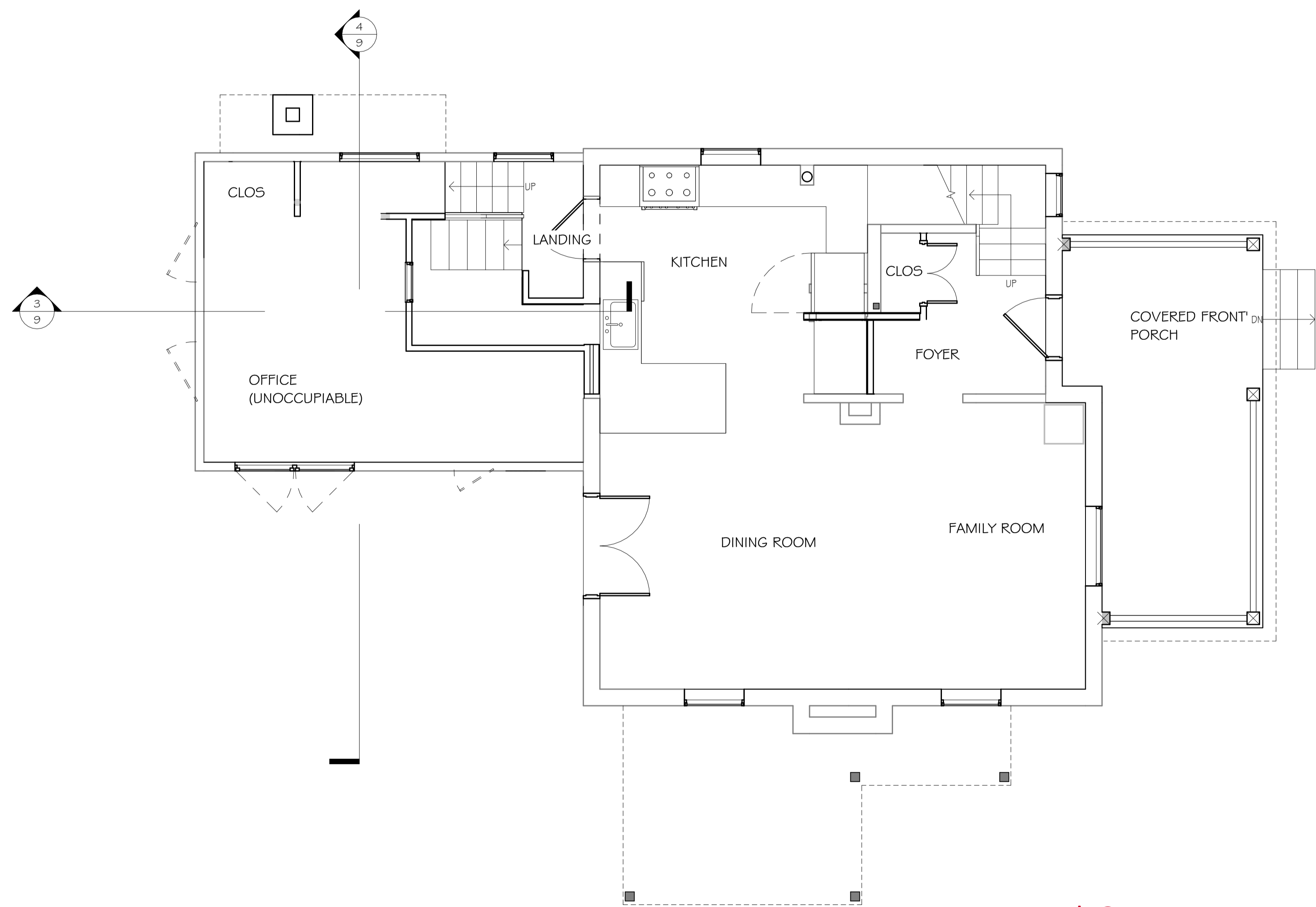
ISSUE DATE  
8/26/2024

**Fred & Lisa Corrado Residence**  
Variance to Revise Roof above portion of Non-standard Building





1 Proposed Main and Upper Split Floor Plan  
1/4" = 1'-0"

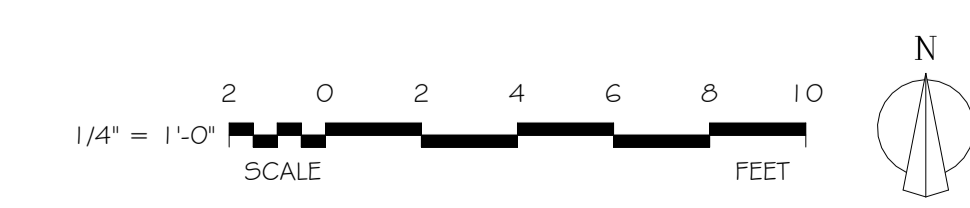


2 Existing Main and Upper Split Floor Plan  
1/4" = 1'-0"

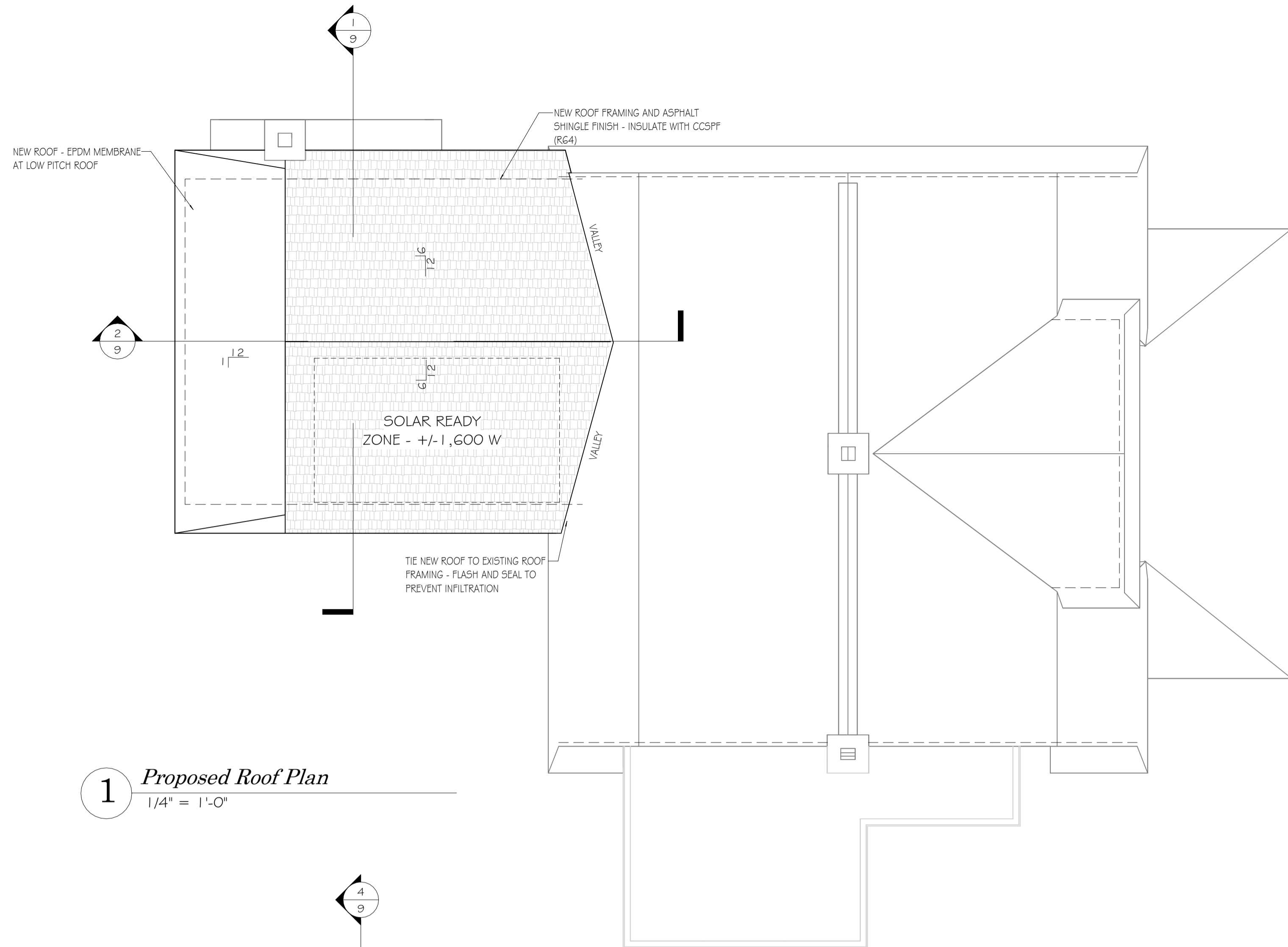
GRAPHIC SYMBOL LEGEND	
	2x4 INTERIOR - WOOD STUD WALL AT 16" OC, 1/2" DRYWALL BOTH SIDES, SECURE TOP AND BOTTOM TO STRUCTURE
	2x6 INTERIOR - WOOD STUD WALL AT 16" OC, 1/2" DRYWALL BOTH SIDES, SECURE TOP AND BOTTOM TO STRUCTURE
	2x6 EXTERIOR - INSULATED WOOD STUD WALL AT 16" OC, 1/2" DRYWALL INTERIOR, 1/2" STRUCTURAL SHEATHING WITH TYVEK EXTERIOR, INSULATED PER ICC REQ'TS OR BETTER, W/ EXTERIOR FINISH PER ELEVATIONS
	EXISTING WALL TO REMAIN (THICKNESS VARIES)

## Fred & Lisa Corrado Residence

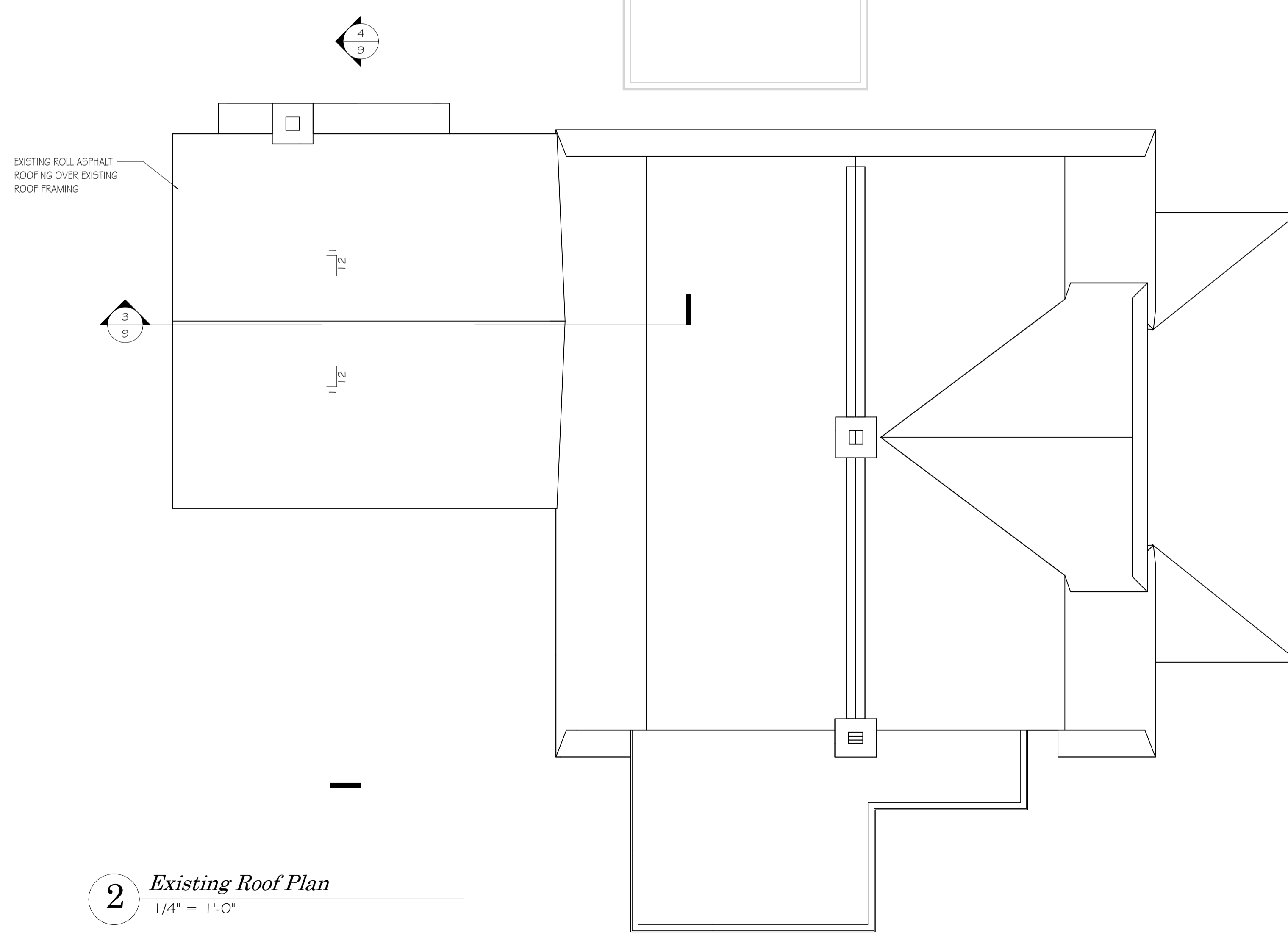
Variance to Revise Roof above portion of Non-standard Building



ISSUE DATE  
8/26/2024



**1** *Proposed Roof Plan*  
1/4" = 1'-0"



**2** *Existing Roof Plan*  
1/4" = 1'-0"

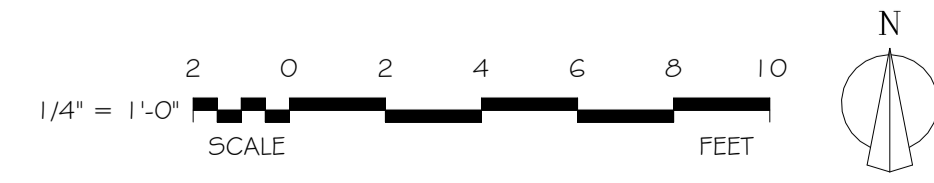
GRAPHIC SYMBOL LEGEND	
	EXISTING TO REMAIN
	UPPER ROOF
	FACE OF STRUCTURE BELOW
	GUTTER
	GUTTER DOWN SPOUT
	ROOF PITCH



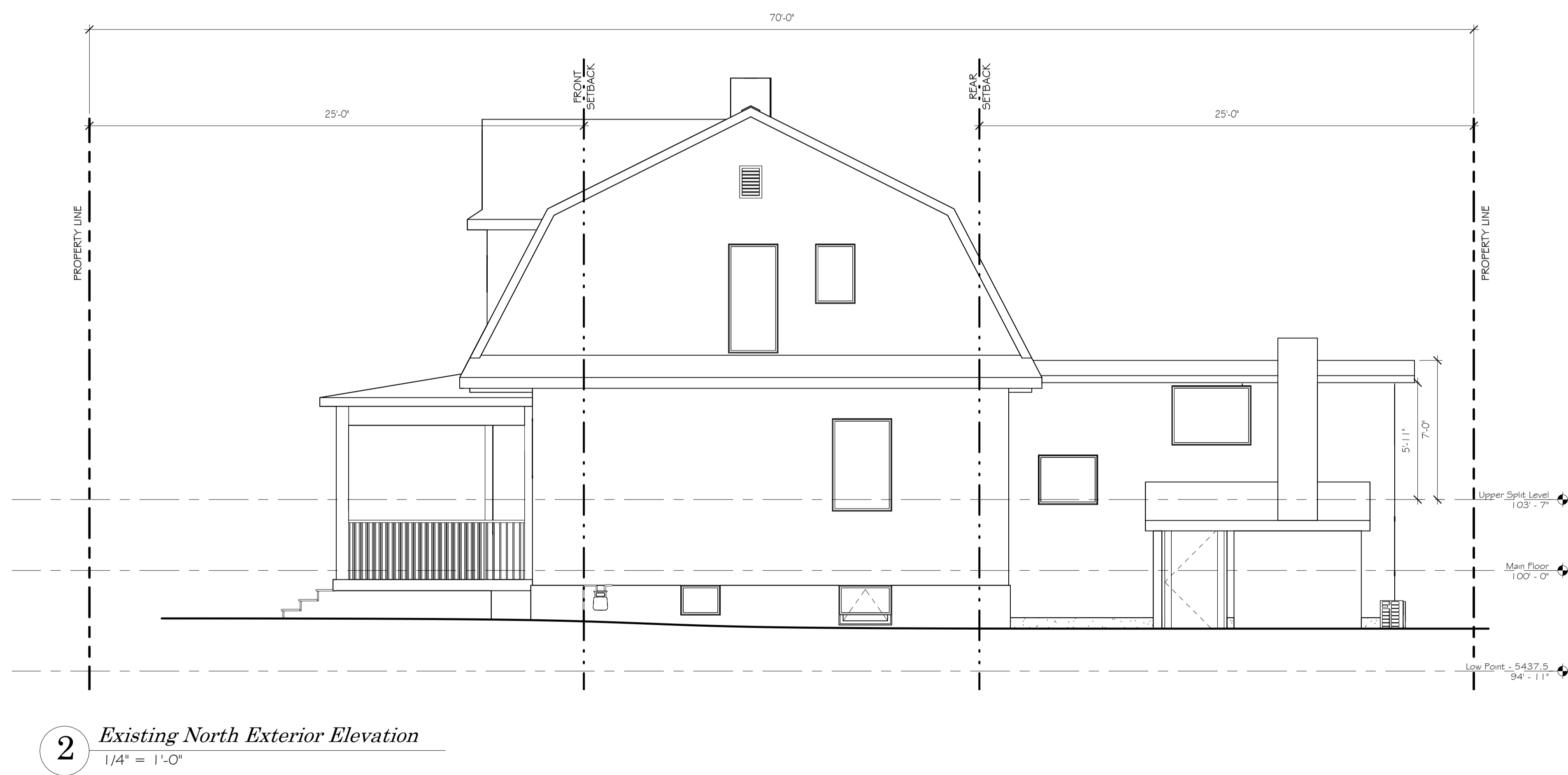
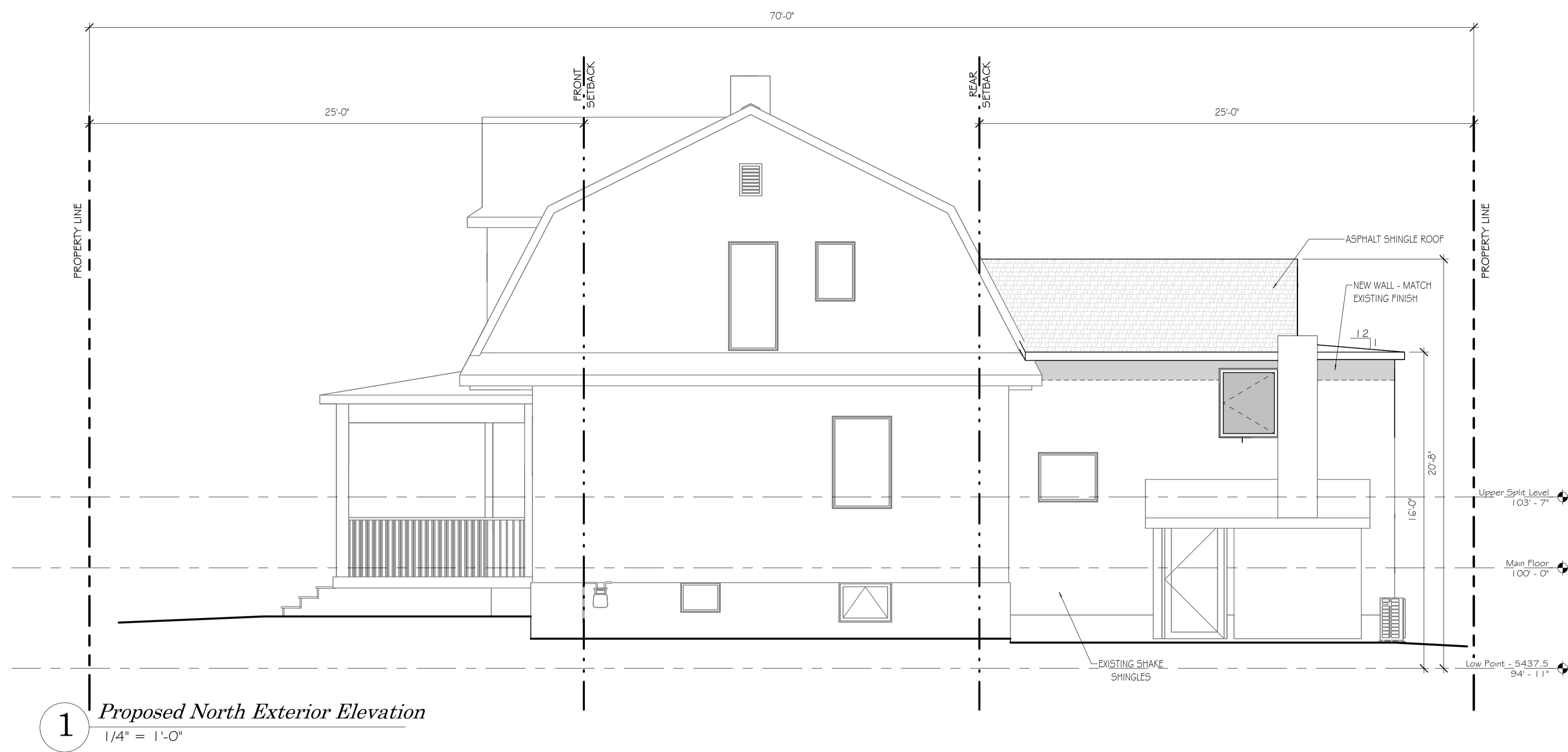
ROOF PLAN

# Fred & Lisa Corrado Residence

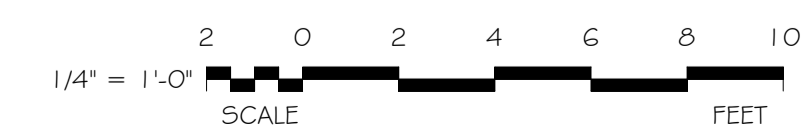
Variance to Revise Roof above portion of Non-standard Building



ISSUE DATE  
8/26/2024

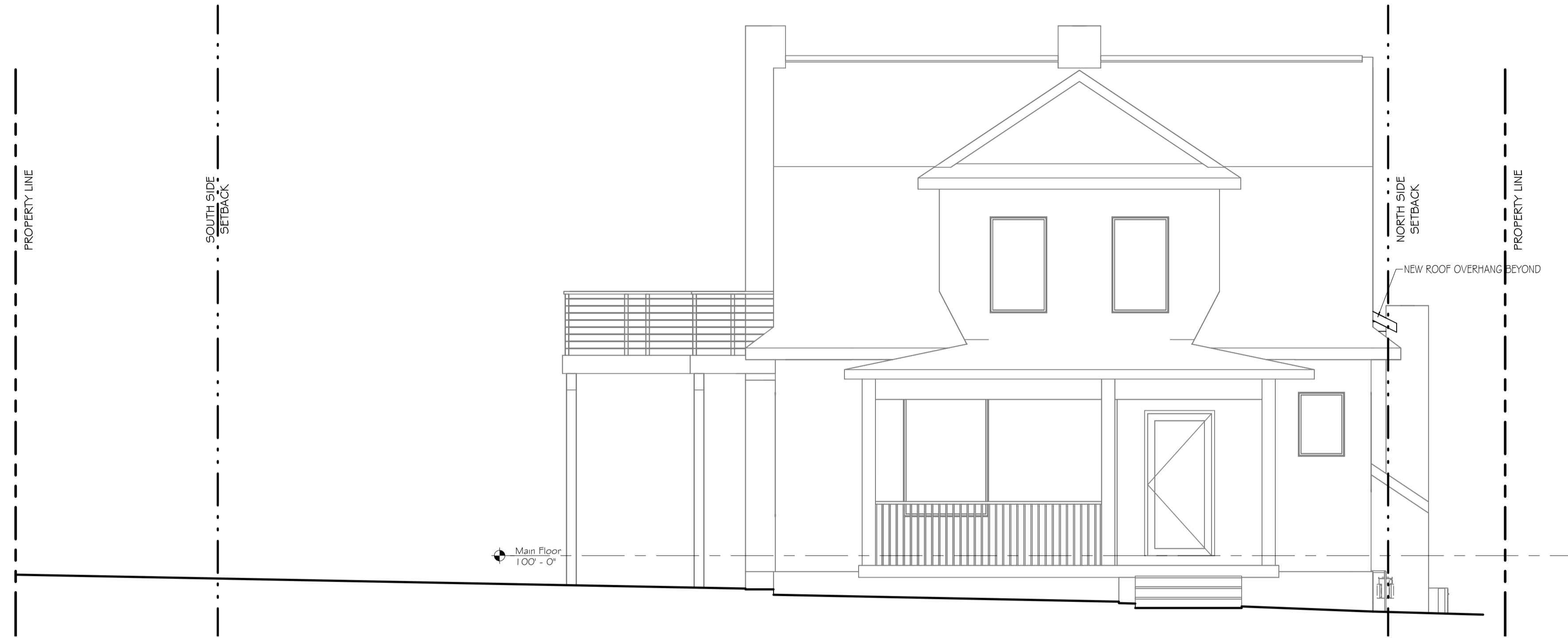


**Fred & Lisa Corrado Residence**  
Variance to Revise Roof above portion of Non-standard Building

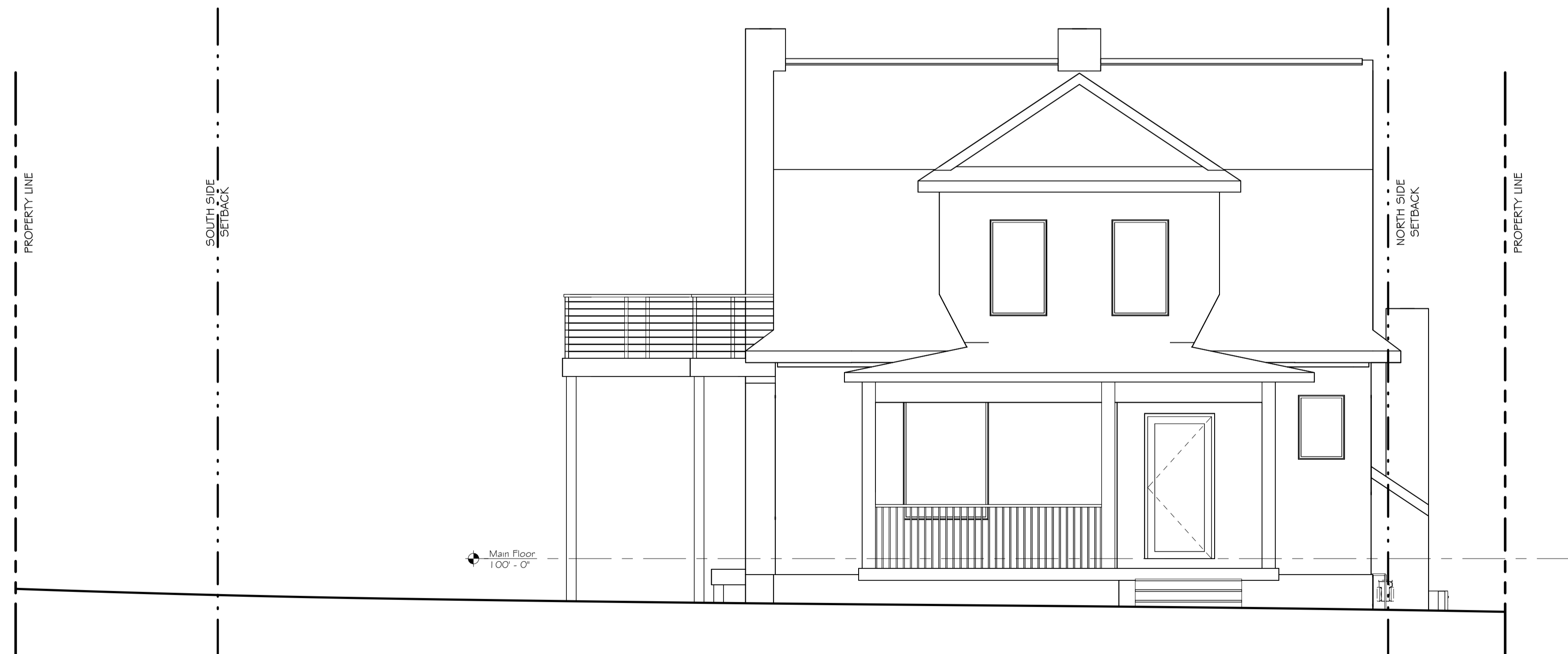


NORTH EXTERIOR  
ELEVATION

ISSUE DATE  
8/26/2024

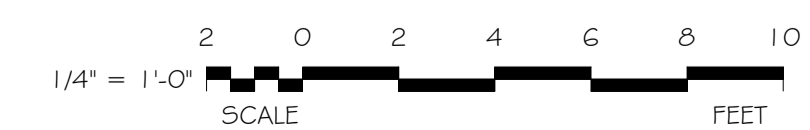


1 *Proposed East Exterior Elevation*  
1/4" = 1'-0"



2 *Existing East Exterior Elevation*  
1/4" = 1'-0"

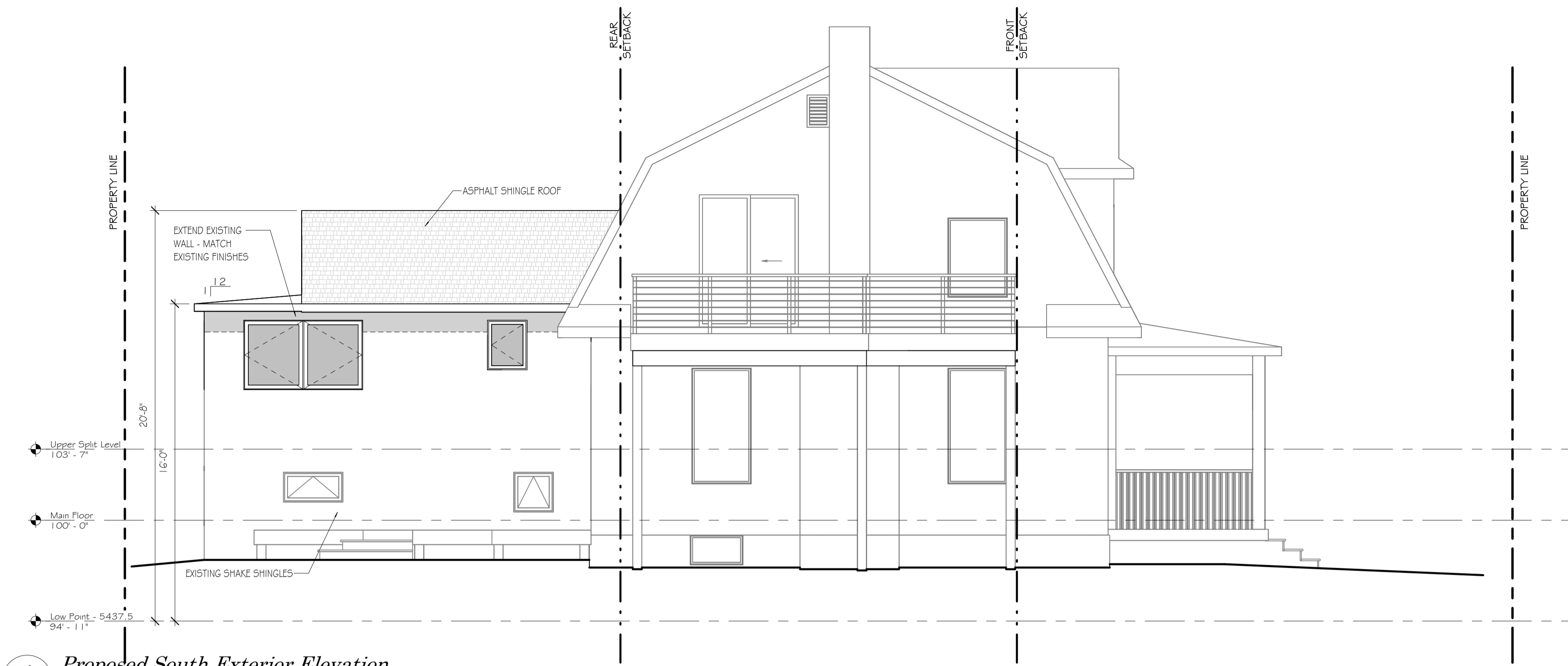
**Fred & Lisa Corrado Residence**  
Variance to Revise Roof above portion of Non-standard Building



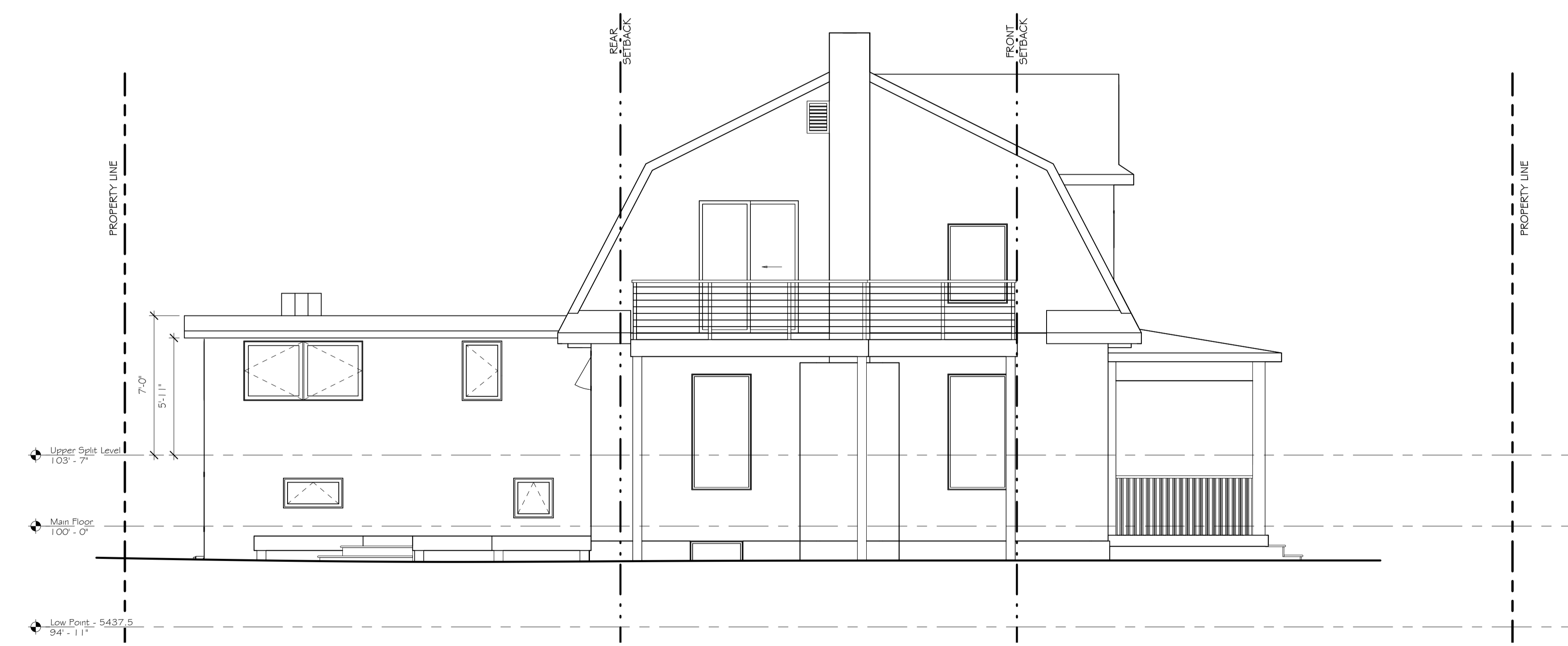
EAST EXTERIOR  
ELEVATION

ISSUE DATE  
8/26/2024



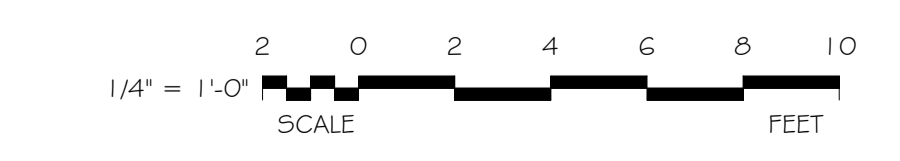


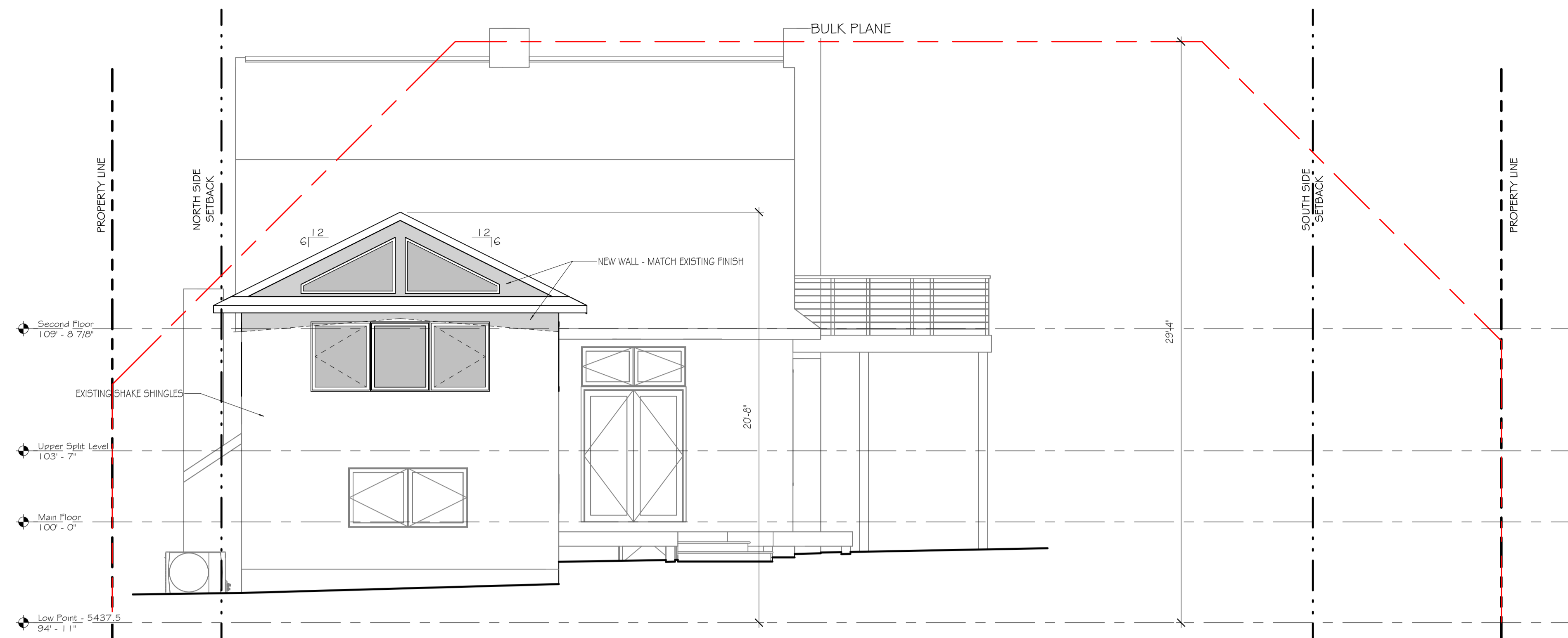
1 Proposed South Exterior Elevation  
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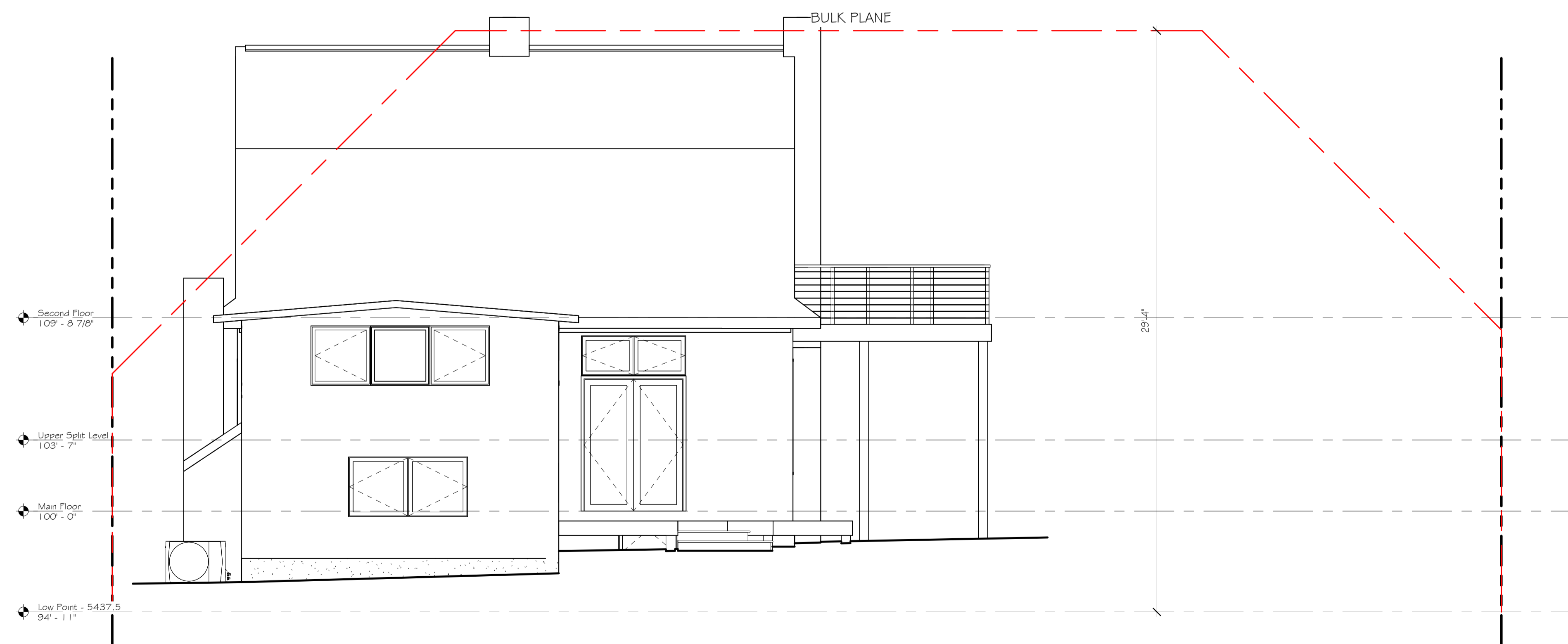
2 Existing South Exterior Elevation  
1/4" = 1'-0"

**Fred & Lisa Corrado Residence**  
Variance to Revise Roof above portion of Non-standard Building



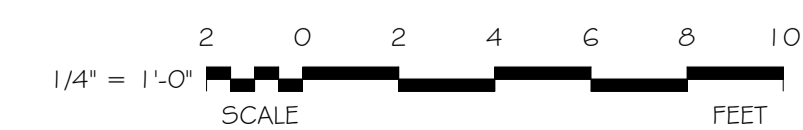


1 Proposed West Exterior Elevation  
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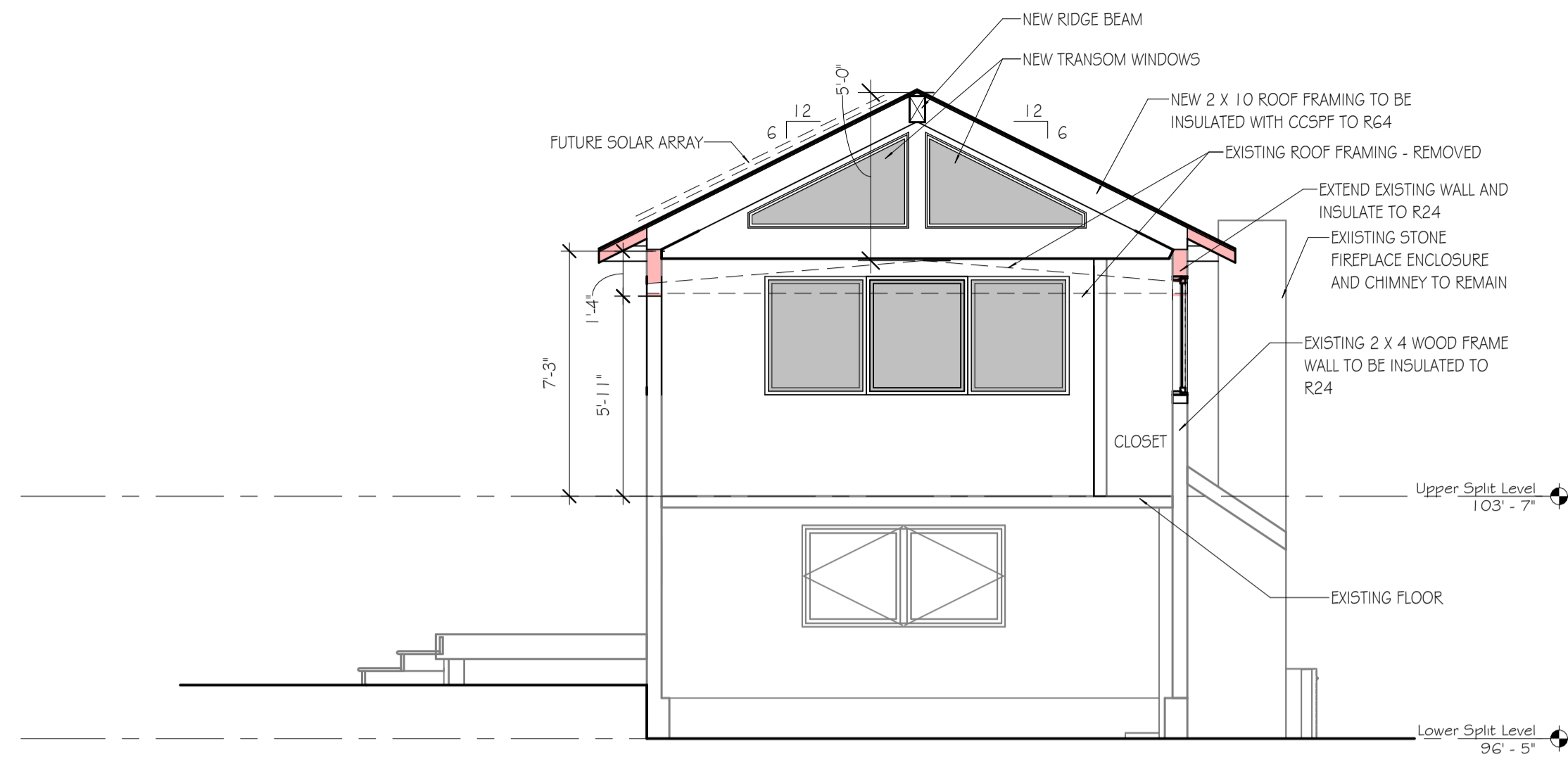
2 Existing West Exterior Elevation  
1/4" = 1'-0"

**Fred & Lisa Corrado Residence**  
Variance to Revise Roof above portion of Non-standard Building

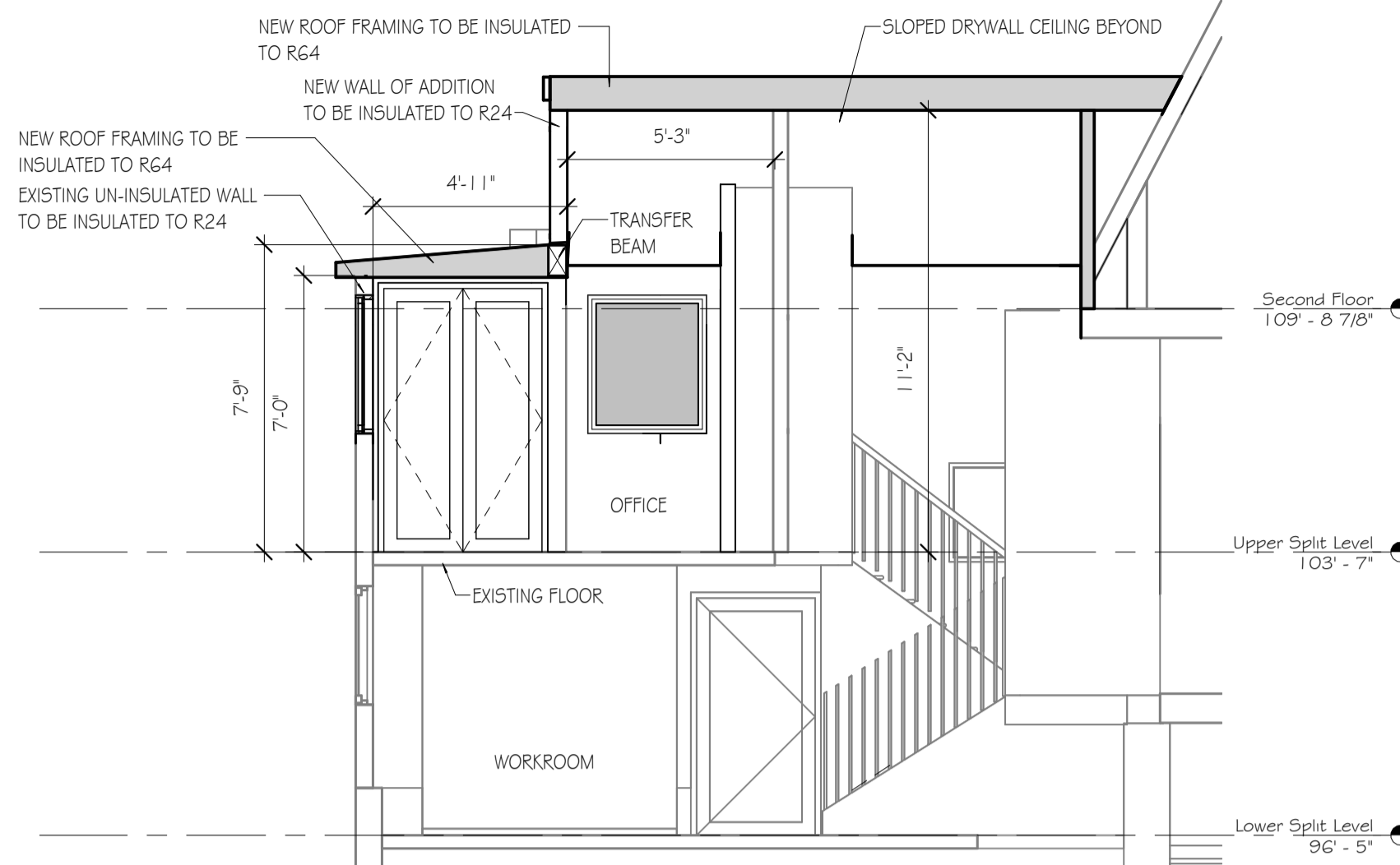


WEST EXTERIOR  
ELEVATION

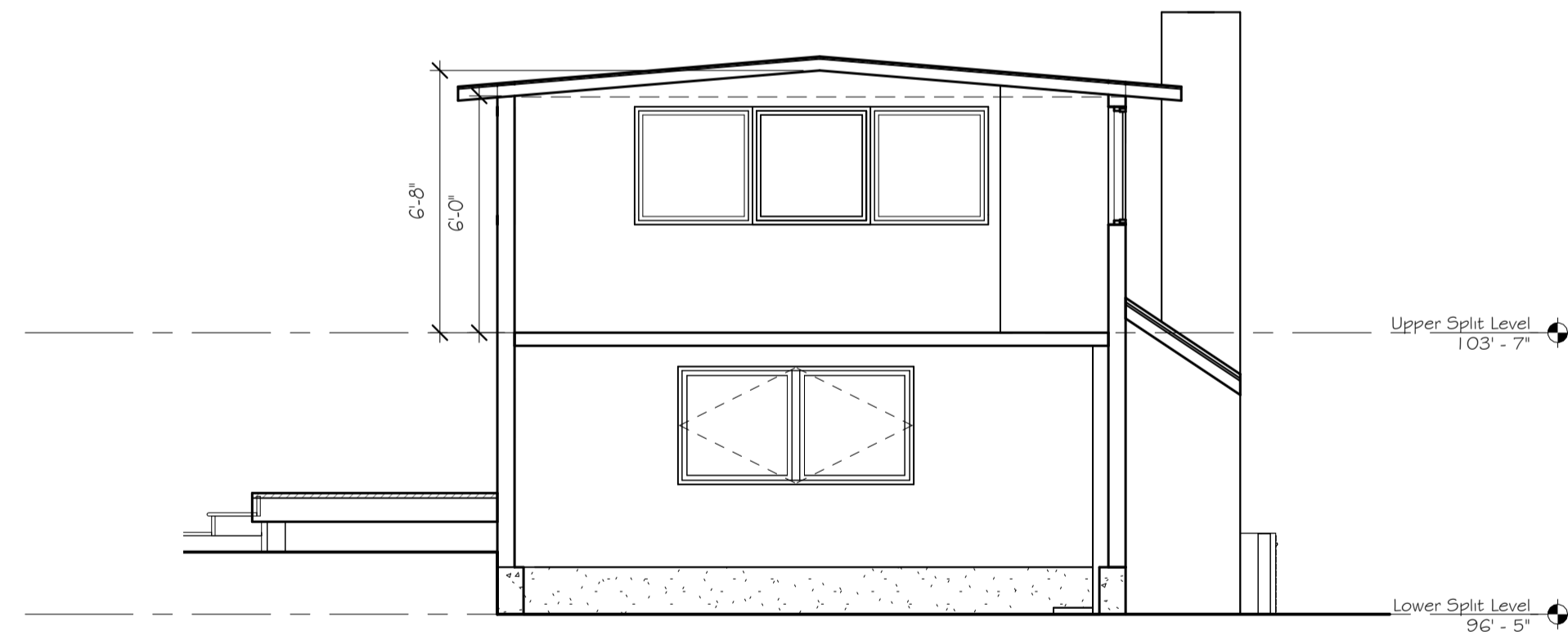
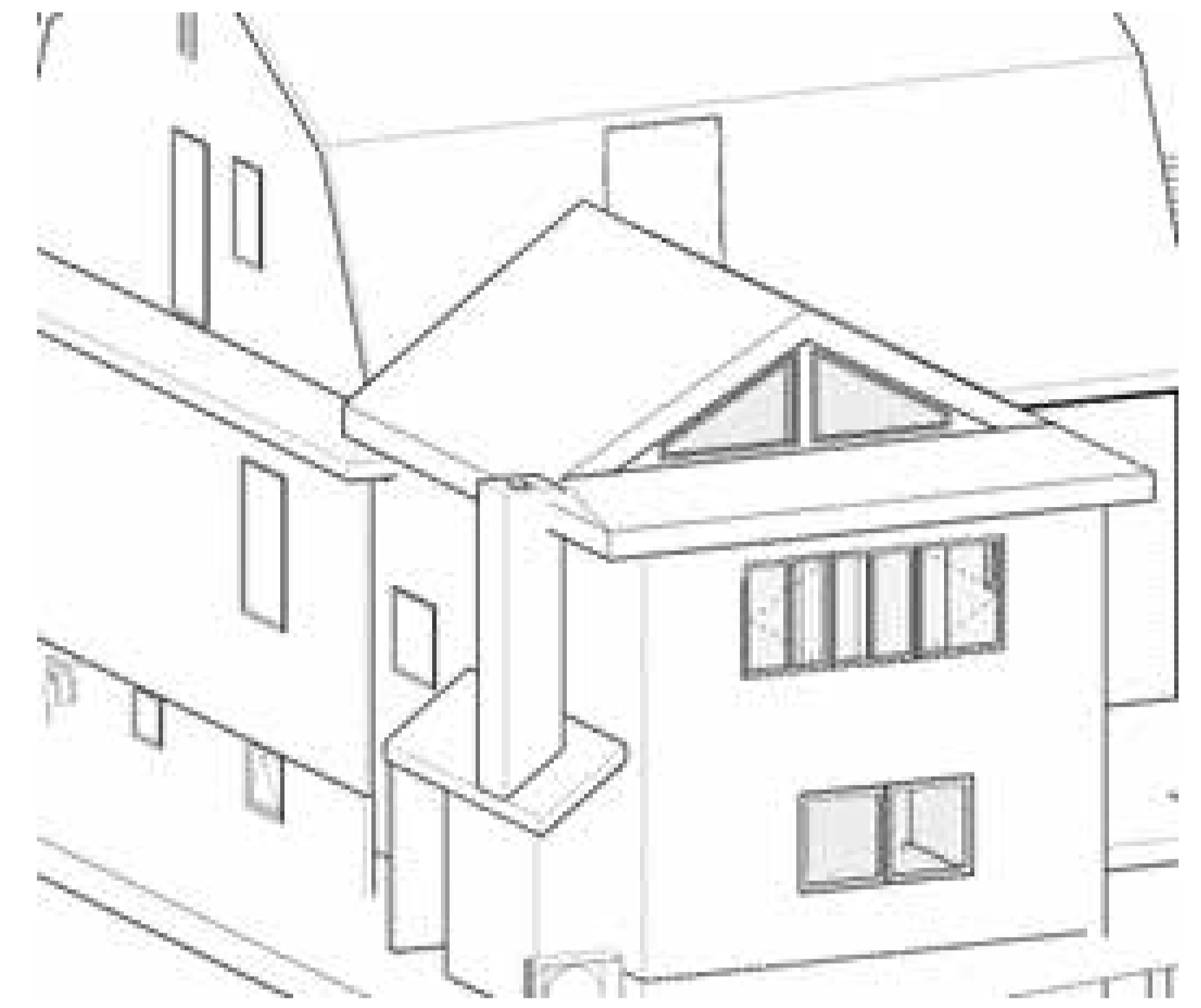
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8/26/2024



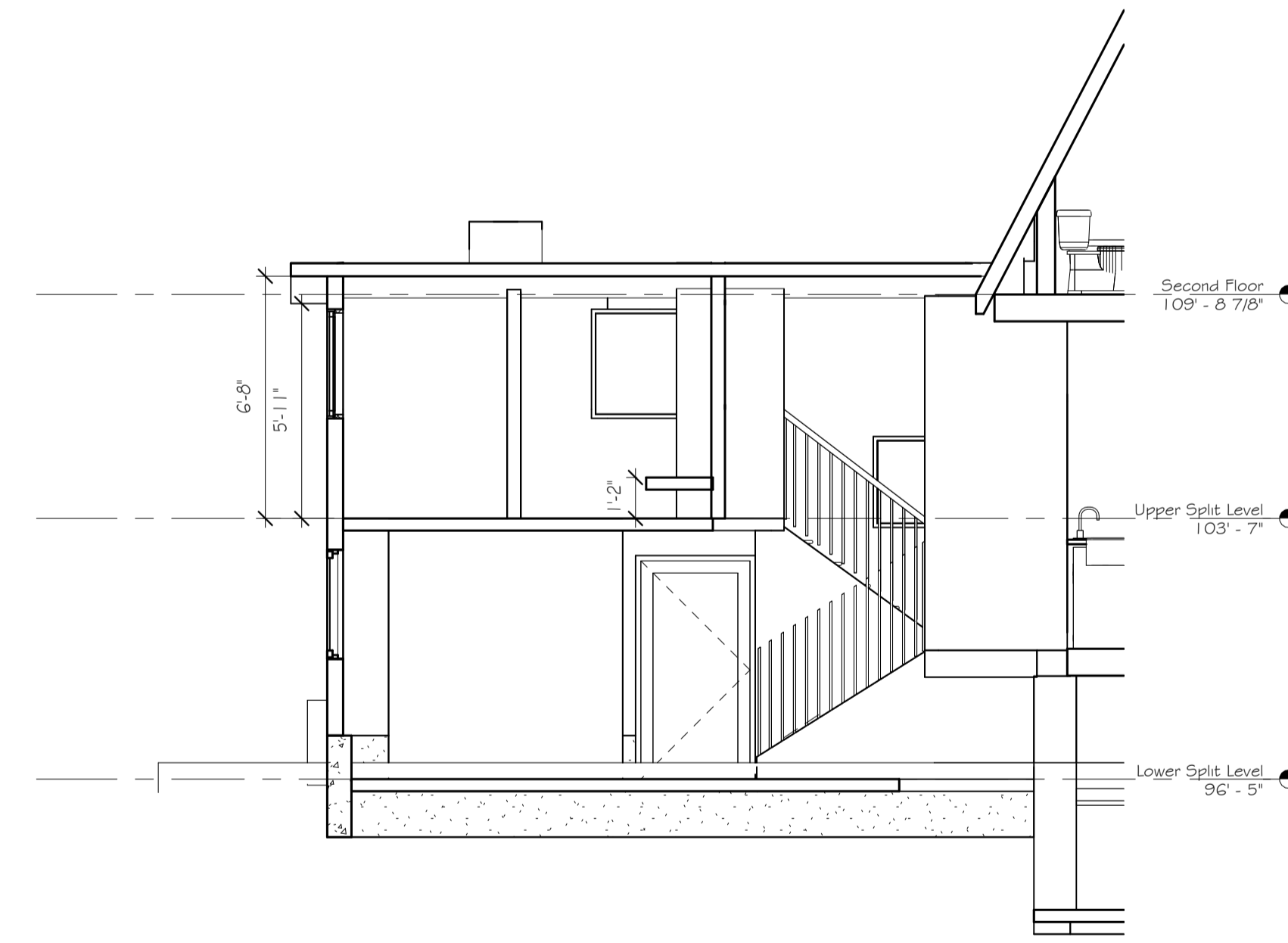
1 Section 7  
1/4" = 1'-0"



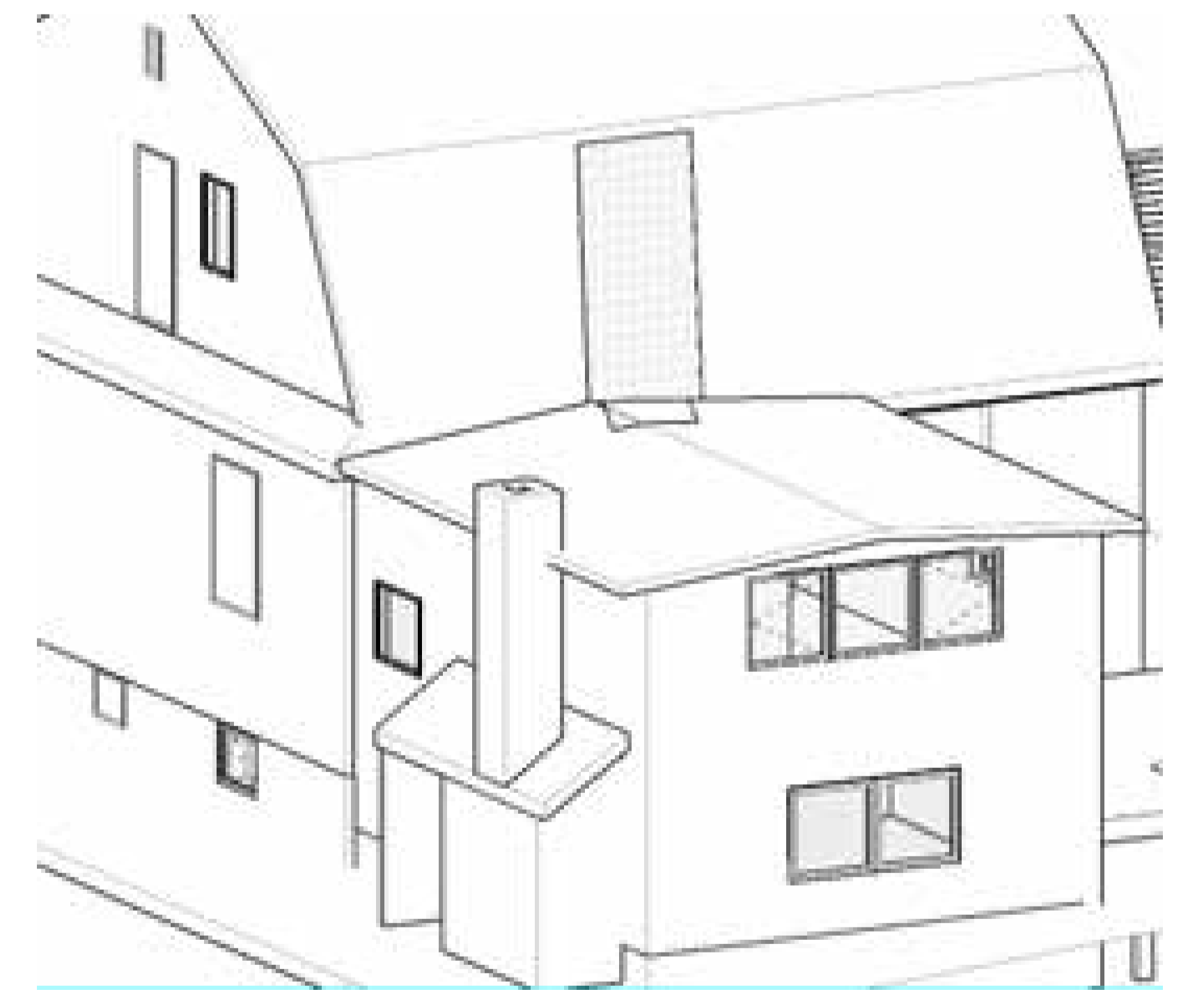
2 Section 5  
1/4" = 1'-0"



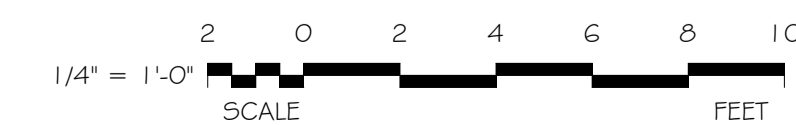
4 Section 7 Existing  
1/4" = 1'-0"



3 Section 5 Existing  
1/4" = 1'-0"



Fred & Lisa Corrado Residence  
Variance to Revise Roof above portion of Non-standard Building



CROSS SECTIONS

ISSUE DATE  
8/26/2024

OK LEW

36-1N-71

Reap 1949

Appraised 19 29

# BOULDER COUNTY REAL ESTATE APPRAISAL

OWNER *Michael M + Nancy M Wertheimer*

HOUSE No. *1313* STREET *7<sup>th</sup>* CITY *Boulder*

LOTS " " " *4* BLOCK *1* ADDITION *Buena Vista Hts.*

Year Constructed *1904* Est. Life in Years *70*

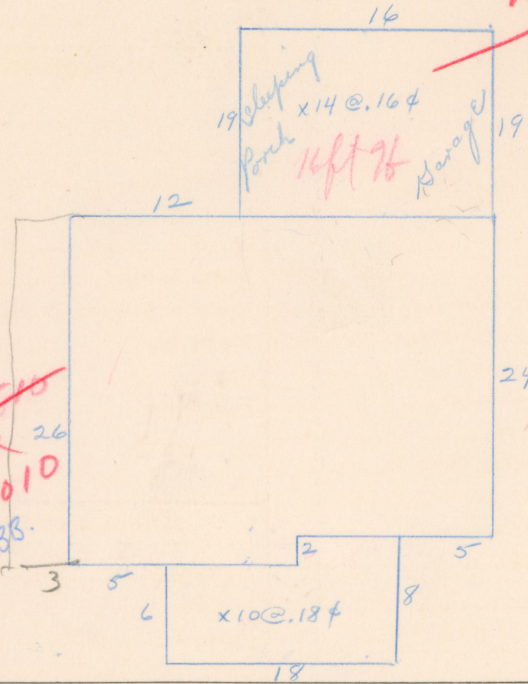


## ESTIMATE OF VALUATION <sup>400T</sup> 1957

	BLDG. PART A	BLDG. PART B	GARAGE
No. Cubic Feet	<i>73572</i>	<i>18436</i>	
Cost per cu. ft. <i>26</i>	<i>26</i>	<i>26</i>	
Total Cost	\$ <i>3538</i>	\$ <i>4793</i>	\$
Porches	<i>895</i>	<i>226</i>	
Garage			<i>256</i>
Extras			
TOTAL	\$ <i>4423</i>	\$ <i>5019</i>	\$ <i>256</i>
% Obsolescence			
<i>40</i> % Physical Dep.	<i>1769</i>	<i>2007</i>	<i>102</i>
Net After Deducting Depreciation	\$ <i>2654</i>	\$ <i>3012</i>	\$ <i>154</i>
<i>30</i> % Utility Dep.	<i>794</i>		<i>44</i>
PRESENT VALUE	\$ <i>1860</i>		\$ <i>110</i>

## BUILDING PLAN

*Remodeled as part of house - 57*



$12 \times 26 \times 19\frac{1}{2} = 6084$   
 $16 \times 24 \times 19\frac{1}{2} = 7488$   
 $13572 \text{ cu. ft.}$   
 $16 \times 19 \times 16 = 4864$   
 $18436$

## DESCRIPTION

Class of Bldg.	<i>B</i>	Basement	<i>1/2 und.</i>
Construction	<i>Brick</i>	Roof	<i>Shingles</i>
Char. of Const.	<i>Med.</i>	Heating	<i>Hot Air</i>
Exterior	<i>Brick</i>	Plumbing	<i>Med. old</i>
Interior Finish	<i>Plaster</i>	Light	<i>Elec.</i>
Floors	<i>10 9/16 wood</i>	Priv. Garage	<i>2 in Basement</i>
Stories	<i>1 3/4</i>	Barns or Sheds	<i>2 in Basement</i>
Fire Resisting	<i>No</i>	State of Reps.	<i>Fair</i>
Foundation	<i>Stone</i>	Local Imps.	<i>All</i>

Height of Building *19 1/2*

## SUMMARY

DESCRIPTION	AMOUNT	ANNUAL ASSESSMENT			
		YEAR	LAND	IMPROVEMENTS	TOTAL
Building Permit	\$	1938	\$ 270	\$ 1290	\$
Original Cost, Improvements Only	\$	1939			
Additions and Betterments	\$	1940			
Owner's Estimate of Present Value	\$	1941			
Private Appraisal	\$	1942	270	1290	
Insurance	\$	1943			
Mortgage	\$	1944			
Monthly Rental	\$	1945			
Advertised for Sale	\$	1946			
Transferred in 19 <i>49-8000</i>	\$	1947			

## ADDITIONS AND BETTERMENTS

YEAR	AMOUNT	YEAR	AMOUNT
	\$		\$
	\$		\$

Transferred 8-7-62 \$18250

1959 420 3010





**Scott Home Inspection LLC**  
3728 W CR10 Berthoud, CO 80513  
www.scotthomeinspection.com  
**970-532-2424**  
**303-373-2424**

**1313 7<sup>th</sup> St**  
**Boulder CO 80302**

**August 22, 2024**  
**Version 1**

Both a Baseline HERS report and a Projected HERS report have been prepared, to demonstrate at least a 10% in estimated annual energy use for the home. With the planned improvements, we are showing a 69% reduction.

Baseline HERS score on existing home: 378  
Baseline estimated annual consumption: 334.8 MBtu

Projected HERS score on improved home: 131  
Projected estimated annual consumption: 127.5 MBtu

This is a 69% reduction in the estimated annual energy consumption.

Baseline HERS score on existing structure generated using the following site gathered details:

- Uninsulated and unconditioned crawlspace and cellar areas
- Uninsulated existing walls throughout. The double brick walls have no insulation, and the 2x4 framed walls have no cavity insulation.
- Uninsulated ceiling at the rear 1940's addition, minimal insulation at the original home's attic, estimated at R-3
- Most windows are single pane, with the exception of a few windows that have been retrofitted with thin double pane
- 80 AFUE existing furnace, no cooling
- 0.58 UEF 40 gallon water heater
- Air leakage measured at 16.8 ACH50
- Existing appliances
- 25% LED lighting

Projected HERS score from construction plans generated using the following:

- R-19 draped insulation at conditioned crawlspace and cellar
- Existing original home double brick and 2x4 upper walls remain uninsulated, with the exception of the rear wall adjacent to attic, which is insulated to R-19
- 2x4 walls at 1940's addition insulated with R-24 closed cell foam
- R-49 at existing attic space
- R-64 closed cell foam at raised ceiling at 1940s addition
- Most windows replaced, with 0.27 U value avg. The existing older double pane windows are assumed to remain.
- 80 AFUE existing furnace to remain
- Ductless minisplit for 1940s addition heating and cooling, 10 HSPF2, 17 SEER2
- Existing 0.58 UEF 40 gallon water heater to remain
- Improve to 100% LED lighting
- All new appliances
- Improved air leakage, estimated at 5 ACH50 or lower. This will require significant air sealing efforts throughout the remodel process to achieve.

Please review these documents and their information and contact me with any questions you may have

**Luke Griess, ACI**  
**Scott Home Services, LLC**  
**970-532-2424**  
**303-373-2424**  
[luke@ScottHomeInspection.com](mailto:luke@ScottHomeInspection.com)

# Home Energy Rating Certificate

Projected Report  
Based on Plans

Rating Date: 2024-08-22  
Registry ID:  
Ekotrope ID: dxmpGWmv



## HERS® Index Score:

# 378

Your home's HERS score is a relative performance score. The lower the number, the more energy efficient the home. To learn more, visit [www.hersindex.com](http://www.hersindex.com)

## Annual Savings

# -\$1,606

\*Relative to an average U.S. home

**Home:**  
1313 7th St  
Boulder, CO 80302

**Builder:**  
Clearwater Design Studio

## Your Home's Estimated Energy Use:

	Use [MBtu]	Annual Cost
Heating	293.9	\$2,338
Cooling	10.1	\$280
Hot Water	14.2	\$104
Lights/Appliances	16.6	\$462
Service Charges		\$249
Generation (e.g. Solar)	0.0	\$0
<b>Total:</b>	<b>334.8</b>	<b>\$3,433</b>

This home meets or exceeds the criteria of the following:

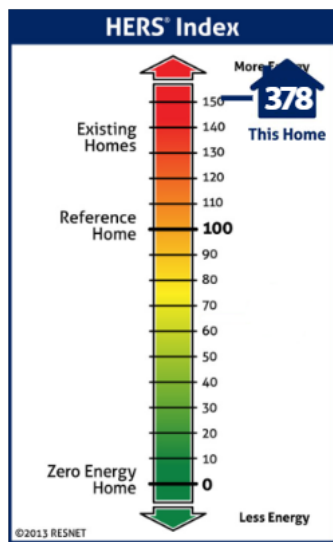
## Rating Completed by:

**Energy Rater:** Luke Griess  
RESNET ID: 2186412

**Rating Company:** Scott Energy Services

970-532-2424

**Rating Provider:** Building Efficiency Resources  
PO Box 1769 Brevard, NC 28712  
800-399-9620



## Home Feature Summary:

Home Type:	Single family detached
Model:	N/A
Community:	N/A
Conditioned Floor Area:	1,420 ft <sup>2</sup>
Number of Bedrooms:	2
Primary Heating System:	Furnace • Natural Gas • 80 AFUE
Primary Cooling System:	N_A
Primary Water Heating:	Residential Water Heater • Natural Gas • 0.58 UEF
House Tightness:	5500 CFM50 (16.77 ACH50)
Ventilation:	None
Duct Leakage to Outside:	Untested Forced Air
Above Grade Walls:	R-0
Ceiling:	Attic, R-3
Window Type:	U-Value: 0.95, SHGC: 0.8
Foundation Walls:	R-0
Framed Floor:	N/A

Luke Griess, Certified Energy Rater  
Digitally signed: 8/22/24 at 4:05 PM



## Air Leakage Report

**Property**  
1313 7th St  
Boulder, CO 80302

**Organization**  
Scott Energy Services  
Luke Griess

**Inspection Status**  
Results are projected



1313 7th St  
Baseline HERS report

**Builder**  
Clearwater Design Studio

### General Information

Conditioned Floor Area [ft <sup>2</sup> ]	1,420
Infiltration Volume [ft <sup>3</sup> ]	19,674
Number of Bedrooms	2

### Air Leakage

Measured Infiltration	5500 CFM50 (16.77 ACH50)
ACH50 (Calculated)	16.77
ELA [sq. in.] (Calculated)	301.75
ELA per 100 s.f. Shell Area (Calculated)	6.196
CFM50 (Calculated)	5,500
CFM50 / s.f. Shell Area (Calculated)	1.129

### Duct Leakage

Leakage to Outdoors
Total Leakage Test Type
Total Leakage [CFM @ 25 Pa]
Total Leakage [CFM25 / 100 s.f.]
Total Leakage [CFM25 / CFA]

### Mechanical Ventilation

Rate [CFM]	
Hours per day	
Fan Power	
Recovery Efficiency %	
Runs at least once every 3 hrs?	
Average Rate [CFM]	
2010 ASHRAE 62.2 Req. Cont. Ventilation	36.7
2013 ASHRAE 62.2 Req. Cont. Ventilation	21.7
2016 ASHRAE 62.2 Req. Cont. Ventilation	0.0



# Emissions Summary

**Property**

1313 7th St  
Boulder, CO 80302

**Organization**

Scott Energy Services  
Luke Griess

**Inspection Status**

Results are projected

1313 7th St

Baseline HERS report

**Builder**

Clearwater Design Studio

## Emissions by End-Use

### Carbon Dioxide Equivalent (CO<sub>2</sub>e) [tons/yr]

Heating [Natural Gas]	21.9
Heating [Electric]	0.5
Hot Water [Natural Gas]	1.0
Lights & Appliances [Electric]	0.7
Emissions Savings from Onsite Generation	-0.0
<b>TOTAL</b>	<b>24.1</b>

### Sulfur Dioxide (SO<sub>2</sub>) [lbs/yr]

<b>TOTAL</b>	<b>2.7</b>
--------------	------------

### Nitrogen Oxide (NO<sub>x</sub>) [lbs/yr]

<b>TOTAL</b>	<b>33.5</b>
--------------	-------------

### Energy Use Intensity (EUI) [kBtu/ft<sup>2</sup>]

Site EUI	237.7
----------	-------

Emissions are calculated using the Emission Factors published in the Table 5.1.2(1) of RESNET MINHERS Addendum 66f by RESNET, in Table Table 5.1.2(1) and in accordance with Section 6.2.

CO<sub>2</sub> equivalent (CO<sub>2</sub>e) emissions combine three gasses: carbon dioxide (CO<sub>2</sub>), methane (CH<sub>4</sub>), and nitrous oxides (N<sub>2</sub>O).

According to the MINHERS Addendum 66f, CO<sub>2</sub>e Emissions are computed on an hourly basis using the Purchased Energy by fuel type, instead of the annual energy balance.

# Fuel Summary

**Property**

1313 7th St  
Boulder, CO 80302

**Organization**

Scott Energy Services  
Luke Griess

**Inspection Status**

Results are projected

1313 7th St

Baseline HERS report

**Builder**

Clearwater Design Studio

## Annual Energy Cost

---

Natural Gas	\$2,445
Electric	\$809

## Annual End-Use Cost

---

Heating	\$2,440
Cooling	\$0
Water Heating	\$104
Lights & Appliances	\$462
Onsite Generation	-\$0
Service Charges	\$249
Total	\$3,255

## Annual End-Use Consumption

---

Heating [Natural Gas Therms]	2,968.7
Heating [Electric kWh]	2,868.5
Hot Water [Natural Gas Therms]	142.5
Lights & Appliances [Electric kWh]	4,861.7
Total [Natural Gas Therms]	3,111.2
Total [Electric kWh]	7,730.2
Total Onsite Generation [Electric kWh]	0.0

## Peak Electric Consumption

---

Peak Winter kW	1.40
Peak Summer kW	0.85

## Utility Rates

---

Electricity	Xcel Electric
Natural Gas	Xcel Natural Gas

# Building Specification Summary



## Property

1313 7th St  
Boulder, CO 80302

## Organization

Scott Energy Services  
Luke Griess

## Inspection Status

Results are projected

1313 7th St

Baseline HERS report

## Builder

Clearwater Design Studio

## Building Information

Conditioned Area [ft <sup>2</sup> ]	1,420.00
Conditioned Volume [ft <sup>3</sup> ]	19,674.00
Thermal Boundary Area [ft <sup>2</sup> ]	4,870.40
Number Of Bedrooms	2
Housing Type	Single family detached

## Rating

HERS ERI	378
HERS ERI w/o PV	378

## Building Shell

Ceiling w/ Attic	R-3 G3; U-0.233
Vaulted Ceiling	Uninsulated vault; U-0.402
Above Grade Walls	Uninsulated 2x4 siding; U-0.331
Found. Walls	Uninsulated; R-0
Framed Floors	None
Slabs	Uninsulated slab; R-0

Windows (largest)	U-Value: 0.95, SHGC: 0.8
Window / Wall Ratio	0.15
Window / Floor Ratio	0.24
Infiltration	5500 CFM50 (16.77 ACH50)
Duct Lkg to Outside	Untested Forced Air
Total Duct Leakage	Untested

## Mechanical Systems

Heating	Furnace • Natural Gas • 80 AFUE
Cooling	N_A
Water Heating	Residential Water Heater • Natural Gas • 0.58 UEF
Programmable Thermostat	Yes
Ventilation System	None
Whole House Fan	N/A

## Lights and Appliances

Percent Interior LED	25%	Clothes Dryer Fuel	Electric
Percent Exterior LED	25%	Clothes Dryer CEF	3.9
Refrigerator (kWh/yr)	691.0	Clothes Washer LER (kWh/yr)	250.0
Dishwasher Efficiency	467 kWh	Clothes Washer Capacity	5.0
Ceiling Fan	None	Range/Oven Fuel	Electric

# Building Summary



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Scott Energy Services  
Luke Griess

**Inspection Status**  
Results are projected

1313 7th St  
Baseline HERS report

**Builder**  
Clearwater Design Studio

## General Building Information

Number Of Bedrooms	2
Number Of Floors	2
Conditioned Floor Area [sq. ft.]	1,420
Has Electric Vehicle Ready Space	No
Unconditioned, attached garage?	No
Conditioned Volume [cu. ft.]	19,674
Total Units in Building	1
Residence Type	Single family detached
Number of Floors in Building	-
Floor Number	-
Model	
Community	
RESNET/IECC 2006-2018 Climate Zone	5B
IECC 2021 Climate Zone	5B

## Foundation Wall

Name	Library Type	Height Above Grade	Depth Below Grade	Perimeter	Location	Enclosing
Cellar walls	Uninsulated	2	4.7	41	Exposed Exterior	Conditioned Crawlspace
Crawlspace walls	Uninsulated	1	1.5	51	Exposed Exterior	Conditioned Crawlspace

## Foundation Wall Library List

Name	Feet From Wall Top To Continuous Insulation Top	Feet From Wall Top To Continuous Insulation Bottom	Is Fully Insulated	Continuous R-value	Cavity R-value	Effective Insulation R-value
Uninsulated	N/A	N/A	Yes	0.00	N/A	N/A

## Slab

Name	Library Type	Perimeter	Floor Grade	Carpet R	Exposed Masonry Area	Surface Area	Location	Enclosing
Cellar slab	Uninsulated slab	87	Below Grade	0	0	430.0 ft <sup>2</sup>	Exposed Exterior	Conditioned Crawlspace
Crawl dirt floor	Crawlspace dirt floor	51	Below Grade	0	0	283.0 ft <sup>2</sup>	Exposed Exterior	Conditioned Crawlspace
Unoccupiable slab on grade	Uninsulated slab	55	On Grade	1	0	283.0 ft <sup>2</sup>	Exposed Exterior	Conditioned Crawlspace

# Building Summary



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Baseline HERS report

**Builder**  
Clearwater Design Studio

## Slab Library List

Name	Wall Construction Type	Slab Completely Insulated?	Underslab Insulation Width [ft]	Perimeter Insulation Depth [ft]	Perimeter Insulation R Value	Perimeter Insulation Is Exterior	Thermal Break	Effective R-value
Crawlspace dirt floor	Wood Frame / Other	No	0	0	0	No	No	0.00
Uninsulated slab	Wood Frame / Other	No	0	0	0	No	No	0.00

## Framed Floor

None Present

## Framed Floor Library List

None Present

## Rim Joist

Name	Library Type	Surface Area	Location
Rim Joist	R 0.0	184.0 ft <sup>2</sup>	Exposed Exterior

## Rim Joist Library List

Name	Effective Insulation R-value
R 0.0	0.00

## Wall

Name	Library Type	Surface Color	Solar Absorptance	Surface Area	Location
Main Brick Walls	Double Brick	Medium	0.75	818.8 ft <sup>2</sup>	Exposed Exterior
Unoccupiable 2x4 walls	Uninsulated 2x4 siding	Medium	0.75	693.0 ft <sup>2</sup>	Exposed Exterior
Upper 2x4 walls	Uninsulated 2x4 siding	Medium	0.75	754.4 ft <sup>2</sup>	Exposed Exterior

# Building Summary



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**Builder**  
Clearwater Design Studio

## Wall Library List

Name	Effective R-value
Double Brick	2.84
Uninsulated 2x4 siding	3.017

## Glazing

Name	Library Type	Wall Assignment	Foundation Wall Assignment	Is Operable	Overhang Depth	Overhang Ft To Top	Overhang Ft To Bottom	Orientation	Surface Area
0 B	Single Wood default .95 .80		Cellar walls	No	0	0	0	West	3.0 ft <sup>2</sup>
0 L	Single Wood default .95 .80		Cellar walls	No	0	0	0	South	4.0 ft <sup>2</sup>
0 R	Single Wood default .95 .80		Cellar walls	No	0	0	0	North	2.7 ft <sup>2</sup>
0 R	Single Wood default .95 .80		Cellar walls	No	0	0	0	North	5.5 ft <sup>2</sup>
1 B	Single Wood default .95 .80	Unoccupiable 2x4 walls		Yes	0	0	0	West	18.0 ft <sup>2</sup>
1 B	Single Wood default .95 .80	Main Brick Walls		No	1	1	3	West	10.0 ft <sup>2</sup>
1 B Door	Single Wood default .95 .80	Main Brick Walls		Yes	0	0	0	West	33.0 ft <sup>2</sup>
1 F	Double Wood default	Main Brick Walls		Yes	8	1	5	East	23.0 ft <sup>2</sup>
1 F	Double Wood default	Main Brick Walls		Yes	2	1	4.5	North	6.5 ft <sup>2</sup>
1 F half lite	Double Wood default	Main Brick Walls		Yes	8	2	5	North	6.0 ft <sup>2</sup>
1 L	Double Wood default	Main Brick Walls		Yes	4	1	6.5	South	18.0 ft <sup>2</sup>
1 L	Single Wood default .95 .80	Unoccupiable 2x4 walls		Yes	0	0	0	South	14.0 ft <sup>2</sup>
1 L	Double Wood default	Main Brick Walls		Yes	4	1	6.5	South	18.0 ft <sup>2</sup>
1 L	Single Wood default .95 .80	Unoccupiable 2x4 walls		Yes	0	0	0	South	5.0 ft <sup>2</sup>
1 R	Single Wood default .95 .80	Main Brick Walls		No	1	1	5	North	12.0 ft <sup>2</sup>
1 R	Single Wood default .95 .80	Main Brick Walls		No	0	0	0	North	6.0 ft <sup>2</sup>
1 R	Single Wood default .95 .80	Unoccupiable 2x4 walls		Yes	0	0	0	North	7.0 ft <sup>2</sup>
1 R	Single Wood default .95 .80	Unoccupiable 2x4 walls		Yes	1	0	3	North	11.0 ft <sup>2</sup>
2 B	Single Wood default .95 .80	Unoccupiable 2x4 walls		Yes	1	1	3.5	West	20.0 ft <sup>2</sup>
2 F	Single Wood default .95 .80	Main Brick Walls		Yes	2	1	5.5	North	12.0 ft <sup>2</sup>

# Building Summary



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Boulder, CO 80302

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Scott Energy Services  
Luke Griess

**Inspection Status**  
Results are projected

1313 7th St  
Baseline HERS report

**Builder**  
Clearwater Design Studio

Name	Library Type	Wall Assignment	Foundation Wall Assignment	Is Operable	Overhang Depth	Overhang Ft To Top	Overhang Ft To Bottom	Orientation	Surface Area
2 F	Single Wood default .95 .80	Main Brick Walls		Yes	2	1	5.5	North	12.0 ft <sup>2</sup>
2 L	Single Metal default	Upper 2x4 walls		Yes	0	0	0	South	11.0 ft <sup>2</sup>
2 L	Single Wood default .95 .80	Unoccupiable 2x4 walls		Yes	1	0	3	South	24.0 ft <sup>2</sup>
2 L	Single Wood default .95 .80	Unoccupiable 2x4 walls		Yes	1	0	2.5	South	7.0 ft <sup>2</sup>
2 L Door	Single Metal default	Upper 2x4 walls		Yes	0	0	0	South	33.0 ft <sup>2</sup>
2 R	Single Wood default .95 .80	Upper 2x4 walls		Yes	0	0	0	North	12.5 ft <sup>2</sup>
2 R	Single Wood default .95 .80	Upper 2x4 walls		Yes	0	0	0	North	5.2 ft <sup>2</sup>

## Glazing Library List

Name	Shgc	U-factor
Double Wood default	0.7	0.550
Single Metal default	0.8	1.200
Single Wood default .95 .80	0.8	0.950

## Skylight

None Present

## Skylight Library List

None Present

# Building Summary



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**Builder**  
Clearwater Design Studio

## Opaque Door

Name	Library Type	Wall Assignment	Foundation Wall Assignment	Emittance	Solar Absorptance	Surface Color	Surface Area	Location
Front Entry door opaque area	2-1/4 Wd solid core	Main Brick Walls		0.9	0.75	Medium	14.0 ft <sup>2</sup>	Exposed Exterior
Side entry	2-1/4 Wd solid core	Unoccupiable 2x4 walls		0.9	0.75	Medium	20.1 ft <sup>2</sup>	Exposed Exterior
Side entry	2-1/4 Wd solid core	Unoccupiable 2x4 walls		0.9	0.75	Medium	14.0 ft <sup>2</sup>	Exposed Exterior

## Opaque Door Library List

Name	Effective R-value
2-1/4 Wd solid core	2.80

## Roof Insulation

Name	Library Type	Attic Exterior Area [ft <sup>2</sup> ]	Clay or Concrete Roof Tiles	Does the Roof have Eaves?	Roof Slope	Ceiling Framing Height [in.]	Eave Height [in.]	Eave Length [in.]	Surface Color	Solar Absorptance	Surface Area	Location
Attic Main	R-3 G3	781	No	No	N/A	N/A	N/A	N/A	Medium	0.75	710.0 ft <sup>2</sup>	Attic
Roof Unoccupiable	Uninsulated vault	312	No	No	N/A	N/A	N/A	N/A	Medium	0.75	312.0 ft <sup>2</sup>	Vaulted Roof

## Roof Insulation Library List

Name	Has Radiant Barrier	Effective R-value
R-3 G3	No	4.297
Uninsulated vault	No	2.485

## Whole House Infiltration

Infiltration	Measurement Type	Shelter Class
5500 CFM at 50 Pa	Blower-door tested	4



# Building Summary



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Baseline HERS report

**Builder**  
Clearwater Design Studio

## Mechanical Ventilation

None Present

## Lighting

% Interior Fluorescent Lighting	% Interior LED Lighting	% Exterior Fluorescent Lighting	% Exterior LED Lighting	% Garage Fluorescent Lighting	% Garage LED Lighting
0	25	0	25	0	25

## Onsite Generation

None Present

## Onsite Generation Library List

None Present

## Solar Generation

None Present

## Dehumidifier

None Present

## Dehumidifier Library List

None Present

# Building Summary



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Baseline HERS report

**Builder**  
Clearwater Design Studio

## Whole House Fan

None Present

## Whole House Fan Library List

None Present

## Conditioning Equipment

Name	Library Type	Serial Number	Heating Percent Load	Cooling Percent Load	Hot Water Percent Load	Location
Gas furnace	80AFUE Gas Furn 82k		100%	0%	0%	Conditioned Crawlspace
Water Heater	40 Gal 0.58 UEF Gas		0%	0%	100%	Conditioned Crawlspace

### Equipment Type: 40 Gal 0.58 UEF Gas

Equipment Type	Residential Water Heater
Fuel Type	Natural Gas
Distribution Type	Hydronic Delivery (Radiant)
Hot Water Efficiency	0.58 UEF
Tank Capacity (gal.)	40
Hot Water Capacity [kBtu/h]	36
Recovery Efficiency	0.77

### Equipment Type: 80AFUE Gas Furn 82k

Equipment Type	Furnace
Fuel Type	Natural Gas
Distribution Type	Forced Air
Motor Type	ECM (Variable Speed)
Heating Efficiency	80 AFUE
Heating Capacity [kBtu/h]	82
Use default EAE	No
EAE [kWh]	1,154

# Building Summary



**Property**  
1313 7th St  
Boulder, CO 80302

**Organization**  
Scott Energy Services  
Luke Griess

**Inspection Status**  
Results are projected

1313 7th St  
Baseline HERS report

**Builder**  
Clearwater Design Studio

## Distribution System

Distribution Type	Forced Air
Heating Equipment	Gas furnace
Is All Equipment In Conditioned Space	Yes
Leakage Default	HERS Default Leakage
Duct System Efficiency	0.88

## HVAC Grading

HVAC Grading Not Conducted
----------------------------

## Ceiling Fan

Has Ceiling Fan	No
-----------------	----

## Water Distribution

Water Fixture Type	Standard
Use Default Hot Water Pipe Length	No
Hot Water Pipe Length [ft]	60
At Least R3 Pipe Insulation?	No
Hot Water Recirculation System?	No
Drain Water Heat Recovery?	No

## Clothes Dryer

Cef	3.93
Fuel Type	Electric
Field Utilization	Moisture Sensing
Is Outside Conditioned Space	No
Clothes Dryer Available	Yes
Defaults Type	Custom

## Clothes Washer

Label Energy Rating	250 kWh/Year
Annual Gas Cost	\$25.00
Electric Rate	\$0.12/kWh
Gas Rate	\$1.09/Therm
Capacity	5
Imef	2.05
Defaults Type	Custom
Load Type	Front-load
Loads Per Week	6
Is Outside Conditioned Space	No
Clothes Washer Available	Yes

# Building Summary



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## Dishwasher

Dishwasher Defaults Type	HERS Reference
Dishwasher Size	Standard
Dishwasher Efficiency	467 kWh
Annual Gas Cost	\$33.12
Electric Rate	\$0.12/kWh
Gas Rate	\$1.09/Therm
Is Outside Conditioned Space	No
Dishwasher Available	Yes

## Appliances and Controls

Programmable thermostat?	Yes
Range/Oven Fuel	Electric
Convection Oven?	No
Induction Range?	No
Range/Oven Outside Conditioned Space?	No
Refrigerator Consumption	691 kWh/Year
Refrigerator Outside Conditioned Space?	No

## Notes

City of Boulder, applying for a variance to remodel existing structure, raise ceiling and insulate at old rear addition and at cellar/crawlspace, replace most windows.

Goal is to show at least a 10% energy use reduction for heating or cooling purposes from Baseline HERS to Projected HERS

Baseline HERS= 378  
Estimated annual consumption: 334.8 MMbtu

Projected HERS=  
Estimated annual consumption:

# End Use Energy Costs



**Property**  
1313 7th St  
Boulder, CO 80302

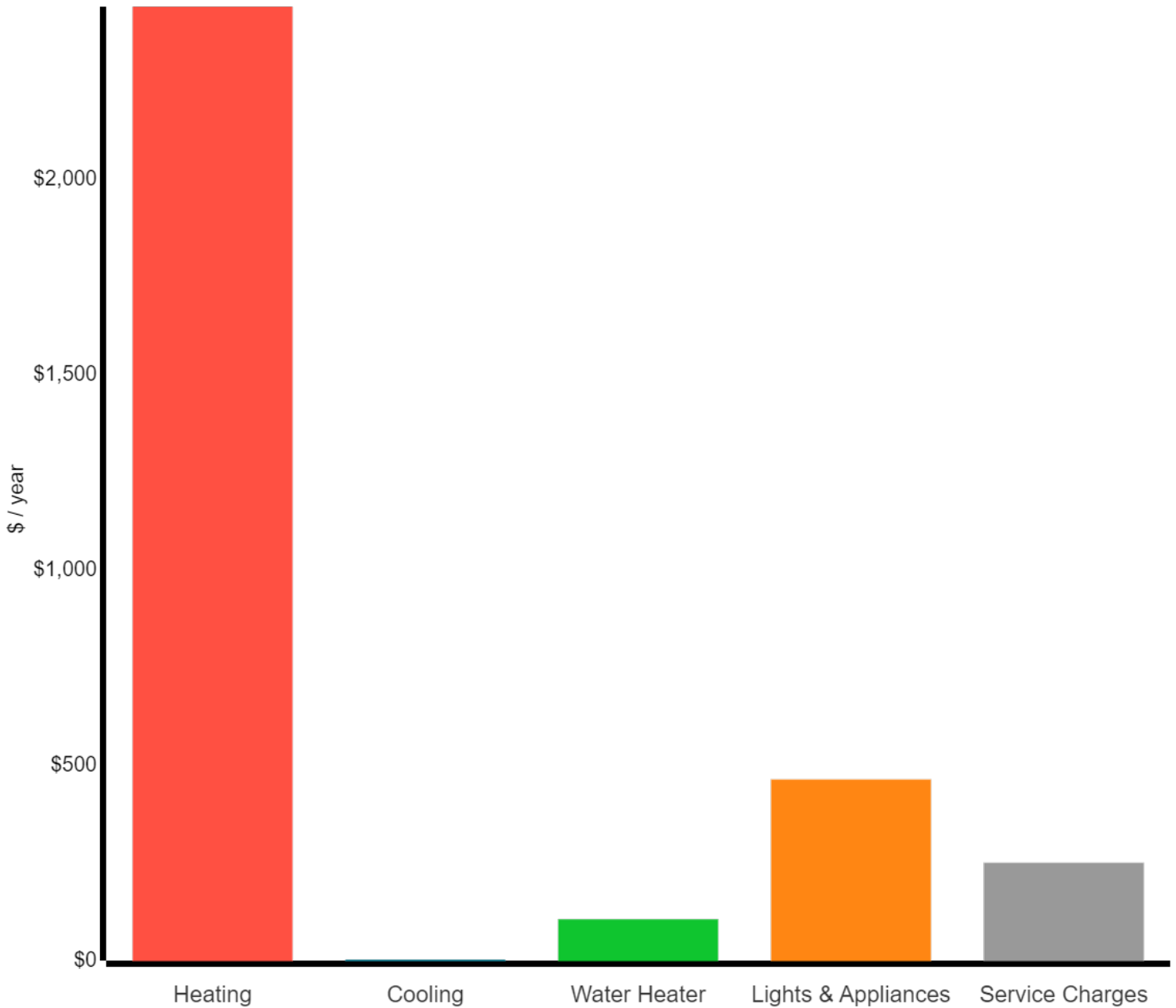
**Organization**  
Scott Energy Services  
Luke Griess

**Inspection Status**  
Results are projected

1313 7th St  
Baseline HERS report

**Builder**  
Clearwater Design Studio

## Annual Energy Cost



# Lighting and Appliances



**Property**  
1313 7th St  
Boulder, CO 80302

**Organization**  
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Luke Griess

**Inspection Status**  
Results are projected

1313 7th St  
Baseline HERS report

**Builder**  
Clearwater Design Studio

## ANNUAL SUMMARY

Summary	Consumption	Annual Cost [\$]
Lighting [kWh/Year]	1,520.0	144
Electric Appliances [kWh/Year]	3,341.7	317
Fossil Fuel Appliances [MBtu/Year]	0.0	0
<b>Total</b>	<b>-</b>	<b>462</b>

## LIGHTING

Lighting Scheme	Consumption [kWh/Year]	Annual Cost [\$]
Interior Lighting	1,384.6	132
Exterior Lighting	135.4	13
Garage Lighting	0.0	0
<b>Total</b>	<b>1,520.0</b>	<b>144</b>

## FOSSIL FUEL APPLIANCES

Appliance Type	Consumption [MBtu/Year]	Annual Cost [\$]
Clothes Dryer	0.0	0
Range/Oven	0.0	0
<b>Total</b>	<b>0.0</b>	<b>0</b>

## ELECTRIC APPLIANCES

Appliance Type	Consumption [kWh/Year]	Annual Cost [\$]
Dishwasher	107.4	10
Range/Oven	409.0	39
Refrigerator	691.0	66
Clothes Dryer	194.8	19
Clothes Washer	96.3	9
Mechanical Ventilation	0.0	0
Ceiling Fan	0.0	0
Television	551.0	52
Miscellaneous	1,292.2	123
<b>Total</b>	<b>3,341.7</b>	<b>317</b>





**Scott Home Inspection LLC**  
3728 W CR10 Berthoud, CO 80513  
www.scotthomeinspection.com  
970-532-2424  
303-373-2424

1313 7<sup>th</sup> St  
Boulder CO 80302

August 22, 2024  
Version 1

Both a Baseline HERS report and a Projected HERS report have been prepared, to demonstrate at least a 10% in estimated annual energy use for the home. With the planned improvements, we are showing a 69% reduction.

Baseline HERS score on existing home: 378  
Baseline estimated annual consumption: 334.8 MBtu

Projected HERS score on improved home: 131  
Projected estimated annual consumption: 127.5 MBtu

This is a 69% reduction in the estimated annual energy consumption.

Baseline HERS score on existing structure generated using the following site gathered details:

- Uninsulated and unconditioned crawlspace and cellar areas
- Uninsulated existing walls throughout. The double brick walls have no insulation, and the 2x4 framed walls have no cavity insulation.
- Uninsulated ceiling at the rear 1940's addition, minimal insulation at the original home's attic, estimated at R-3
- Most windows are single pane, with the exception of a few windows that have been retrofitted with thin double pane
- 80 AFUE existing furnace, no cooling
- 0.58 UEF 40 gallon water heater
- Air leakage measured at 16.8 ACH50
- Existing appliances
- 25% LED lighting

Projected HERS score from construction plans generated using the following:

- R-19 draped insulation at conditioned crawlspace and cellar
- Existing original home double brick and 2x4 upper walls remain uninsulated, with the exception of the rear wall adjacent to attic, which is insulated to R-19
- 2x4 walls at 1940's addition insulated with R-24 closed cell foam
- R-49 at existing attic space
- R-64 closed cell foam at raised ceiling at 1940s addition
- Most windows replaced, with 0.27 U value avg. The existing older double pane windows are assumed to remain.
- 80 AFUE existing furnace to remain
- Ductless minisplit for 1940s addition heating and cooling, 10 HSPF2, 17 SEER2
- Existing 0.58 UEF 40 gallon water heater to remain
- Improve to 100% LED lighting
- All new appliances
- Improved air leakage, estimated at 5 ACH50 or lower. This will require significant air sealing efforts throughout the remodel process to achieve.

Please review these documents and their information and contact me with any questions you may have

**Luke Griess, ACI**  
**Scott Home Services, LLC**  
970-532-2424  
303-373-2424  
[luke@ScottHomeInspection.com](mailto:luke@ScottHomeInspection.com)



# Home Energy Rating Certificate

Projected Report  
Based on Plans

Rating Date: 2024-08-22  
Registry ID:  
Ekotrope ID: dxmpGWmv



## HERS® Index Score:

# 131

Your home's HERS score is a relative performance score. The lower the number, the more energy efficient the home. To learn more, visit [www.hersindex.com](http://www.hersindex.com)

## Annual Savings

# \$289

\*Relative to an average U.S. home

**Home:**  
1313 7th St  
Boulder, CO 80302

**Builder:**  
Clearwater Design Studio

## Your Home's Estimated Energy Use:

	Use [MBtu]	Annual Cost
Heating	96.9	\$1,034
Cooling	2.7	\$75
Hot Water	14.1	\$103
Lights/Appliances	13.9	\$386
Service Charges		\$249
Generation (e.g. Solar)	0.0	\$0
<b>Total:</b>	<b>127.5</b>	<b>\$1,845</b>

This home meets or exceeds the criteria of the following:

## Rating Completed by:

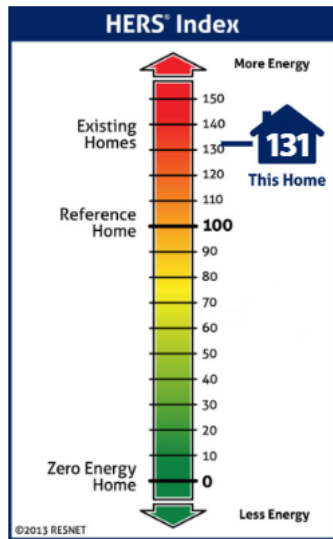
**Energy Rater:** Luke Griess  
RESNET ID: 2186412

**Rating Company:** Scott Energy Services

970-532-2424

**Rating Provider:** Building Efficiency Resources  
PO Box 1769 Brevard, NC 28712  
800-399-9620

Luke Griess, Certified Energy Rater  
Digitally signed: 8/22/24 at 4:36 PM



## Home Feature Summary:

Home Type:	Single family detached
Model:	N/A
Community:	N/A
Conditioned Floor Area:	1,679 ft <sup>2</sup>
Number of Bedrooms:	2
Primary Heating System:	Furnace • Natural Gas • 80 AFUE
Primary Cooling System:	Air Source Heat Pump • Electric • 17 SEER2
Primary Water Heating:	Residential Water Heater • Natural Gas • 0.58 UEF
House Tightness:	5 ACH50
Ventilation:	None
Duct Leakage to Outside:	25 CFM @ 25Pa (1.76 / 100 ft <sup>2</sup> )
Above Grade Walls:	R-0
Ceiling:	Attic, R-49
Window Type:	U-Value: 0.27, SHGC: 0.3
Foundation Walls:	R-19
Framed Floor:	N/A



## Air Leakage Report

**Property**  
1313 7th St  
Boulder, CO 80302

**Organization**  
Scott Energy Services  
Luke Griess

**Inspection Status**  
Results are projected



1313 7th St  
Projected HERS

**Builder**  
Clearwater Design Studio

### General Information

Conditioned Floor Area [ft <sup>2</sup> ]	1,679
Infiltration Volume [ft <sup>3</sup> ]	20,534
Number of Bedrooms	2

### Air Leakage

Measured Infiltration	5 ACH50
ACH50 (Calculated)	5.00
ELA [sq. in.] (Calculated)	93.88
ELA per 100 s.f. Shell Area (Calculated)	1.775
CFM50 (Calculated)	1,711
CFM50 / s.f. Shell Area (Calculated)	0.324

### Duct Leakage

	System 1
Leakage to Outdoors	25 CFM @ 25Pa (1.76 / 100 ft <sup>2</sup> )
Total Leakage Test Type	No Test
Total Leakage [CFM @ 25 Pa]	N/A
Total Leakage [CFM25 / 100 s.f.]	N/A
Total Leakage [CFM25 / CFA]	N/A

### Mechanical Ventilation

Rate [CFM]	
Hours per day	
Fan Power	
Recovery Efficiency %	
Runs at least once every 3 hrs?	
Average Rate [CFM]	
2010 ASHRAE 62.2 Req. Cont. Ventilation	39.3
2013 ASHRAE 62.2 Req. Cont. Ventilation	24.3
2016 ASHRAE 62.2 Req. Cont. Ventilation	0.0

# Emissions Summary

**Property**

1313 7th St  
Boulder, CO 80302

**Organization**

Scott Energy Services  
Luke Griess

**Inspection Status**

Results are projected

1313 7th St

Projected HERS

**Builder**

Clearwater Design Studio

## Emissions by End-Use

### Carbon Dioxide Equivalent (CO<sub>2</sub>e) [tons/yr]

Heating [Natural Gas]	6.3
Heating [Electric]	0.8
Cooling [Electric]	0.1
Hot Water [Natural Gas]	1.0
Lights & Appliances [Electric]	0.6
Emissions Savings from Onsite Generation	-0.0
<b>TOTAL</b>	<b>8.7</b>

### Sulfur Dioxide (SO<sub>2</sub>) [lbs/yr]

<b>TOTAL</b>	<b>3.1</b>
--------------	------------

### Nitrogen Oxide (NO<sub>x</sub>) [lbs/yr]

<b>TOTAL</b>	<b>15.1</b>
--------------	-------------

### Energy Use Intensity (EUI) [kBtu/ft<sup>2</sup>]

Site EUI	78.6
----------	------

Emissions are calculated using the Emission Factors published in the Table 5.1.2(1) of RESNET MINHERS Addendum 66f by RESNET, in Table Table 5.1.2(1) and in accordance with Section 6.2.

CO<sub>2</sub> equivalent (CO<sub>2</sub>e) emissions combine three gasses: carbon dioxide (CO<sub>2</sub>), methane (CH<sub>4</sub>), and nitrous oxides (N<sub>2</sub>O).

According to the MINHERS Addendum 66f, CO<sub>2</sub>e Emissions are computed on an hourly basis using the Purchased Energy by fuel type, instead of the annual energy balance.

# Fuel Summary



**Property**  
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1313 7th St  
Projected HERS

**Builder**  
Clearwater Design Studio

## Annual Energy Cost

---

Natural Gas	\$901
Electric	\$980

## Annual End-Use Cost

---

Heating	\$1,087
Cooling	\$56
Water Heating	\$103
Lights & Appliances	\$386
Onsite Generation	-\$0
Service Charges	\$249
Total	\$1,880

## Annual End-Use Consumption

---

Heating [Natural Gas Therms]	854.4
Heating [Electric kWh]	4,876.5
Cooling [Electric kWh]	586.0
Hot Water [Natural Gas Therms]	140.8
Lights & Appliances [Electric kWh]	4,059.0
Total [Natural Gas Therms]	995.3
Total [Electric kWh]	9,521.5
Total Onsite Generation [Electric kWh]	0.0

## Peak Electric Consumption

---

Peak Winter kW	2.39
Peak Summer kW	1.28

## Utility Rates

---

Electricity	Xcel Electric
Natural Gas	Xcel Natural Gas

# Building Specification Summary



## Property

1313 7th St  
Boulder, CO 80302

## Organization

Scott Energy Services  
Luke Griess

## Inspection Status

Results are projected

1313 7th St  
Projected HERS

## Builder

Clearwater Design Studio

## Building Information

Conditioned Area [ft <sup>2</sup> ]	1,679.00
Conditioned Volume [ft <sup>3</sup> ]	20,534.00
Thermal Boundary Area [ft <sup>2</sup> ]	5,289.40
Number Of Bedrooms	2
Housing Type	Single family detached

## Rating

HERS ERI	131
HERS ERI w/o PV	131

## Building Shell

Ceiling w/ Attic	R-49 Attic G1 FGL; U-0.02
Vaulted Ceiling	R-64 Vault CCF; U-0.021
Above Grade Walls	Double Brick; U-0.352
Found. Walls	R-19 Draped G1; R-19
Framed Floors	None
Slabs	Uninsulated slab; R-0

Windows (largest)	U-Value: 0.27, SHGC: 0.3
Window / Wall Ratio	0.14
Window / Floor Ratio	0.21
Infiltration	5 ACH50
Duct Lkg to Outside	25 CFM @ 25Pa (1.76 / 100 ft <sup>2</sup> )
Total Duct Leakage	Untested

## Mechanical Systems

Heating	Furnace • Natural Gas • 80 AFUE
Cooling	Air Source Heat Pump • Electric • 17 SEER2
Water Heating	Residential Water Heater • Natural Gas • 0.58 UEF
Programmable Thermostat	Yes
Ventilation System	None
Whole House Fan	N/A

## Lights and Appliances

Percent Interior LED	100%	Clothes Dryer Fuel	Electric
Percent Exterior LED	100%	Clothes Dryer CEF	3.9
Refrigerator (kWh/yr)	691.0	Clothes Washer LER (kWh/yr)	250.0
Dishwasher Efficiency	467 kWh	Clothes Washer Capacity	5.0
Ceiling Fan	None	Range/Oven Fuel	Electric

# Building Summary



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1313 7th St  
Boulder, CO 80302

**Organization**  
Scott Energy Services  
Luke Griess

**Inspection Status**  
Results are projected

1313 7th St  
Projected HERS

**Builder**  
Clearwater Design Studio

## General Building Information

Number Of Bedrooms	2
Number Of Floors	2
Conditioned Floor Area [sq. ft.]	1,679
Has Electric Vehicle Ready Space	No
Unconditioned, attached garage?	No
Conditioned Volume [cu. ft.]	20,534
Total Units in Building	1
Residence Type	Single family detached
Number of Floors in Building	-
Floor Number	-
Model	
Community	
RESNET/IECC 2006-2018 Climate Zone	5B
IECC 2021 Climate Zone	5B

## Foundation Wall

Name	Library Type	Height Above Grade	Depth Below Grade	Perimeter	Location	Enclosing
Cellar walls	R-19 Draped G1	2	4.7	41	Exposed Exterior	Conditioned Crawlspace
Crawlspace walls	R-19 Draped G1	1	1.5	51	Exposed Exterior	Conditioned Crawlspace

## Foundation Wall Library List

Name	Feet From Wall Top To Continuous Insulation Top	Feet From Wall Top To Continuous Insulation Bottom	Is Fully Insulated	Continuous R-value	Cavity R-value	Effective Insulation R-value
R-19 Draped G1	N/A	N/A	Yes	19.00	N/A	N/A

## Slab

Name	Library Type	Perimeter	Floor Grade	Carpet R	Exposed Masonry Area	Surface Area	Location	Enclosing
Cellar slab	Uninsulated slab	87	Below Grade	0	0	430.0 ft <sup>2</sup>	Exposed Exterior	Conditioned Crawlspace
Crawl dirt floor	Crawlspace dirt floor	51	Below Grade	0	0	283.0 ft <sup>2</sup>	Exposed Exterior	Conditioned Crawlspace
Unoccupiable slab on grade	Uninsulated slab	55	On Grade	1	0	283.0 ft <sup>2</sup>	Exposed Exterior	Conditioned Crawlspace

# Building Summary



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Clearwater Design Studio

## Slab Library List

Name	Wall Construction Type	Slab Completely Insulated?	Underslab Insulation Width [ft]	Perimeter Insulation Depth [ft]	Perimeter Insulation R Value	Perimeter Insulation Is Exterior	Thermal Break	Effective R-value
Crawlspace dirt floor	Wood Frame / Other	No	0	0	0	No	No	0.00
Uninsulated slab	Wood Frame / Other	No	0	0	0	No	No	0.00

## Framed Floor

None Present

## Framed Floor Library List

None Present

## Rim Joist

Name	Library Type	Surface Area	Location
Rim Joist basement/crawlspace	R 21	92.0 ft <sup>2</sup>	Exposed Exterior
Rim Joist existing	R 0.0	143.0 ft <sup>2</sup>	Exposed Exterior

## Rim Joist Library List

Name	Effective Insulation R-value
R 0.0	0.00
R 21	21.00

## Wall

Name	Library Type	Surface Color	Solar Absorptance	Surface Area	Location
Main Brick Walls	Double Brick	Medium	0.75	818.8 ft <sup>2</sup>	Exposed Exterior



# Building Summary



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Clearwater Design Studio

Name	Library Type	Surface Color	Solar Absorptance	Surface Area	Location
Rear addition 2x4 walls reinsulated	R-24 2x4 CCF	Medium	0.75	748.0 ft <sup>2</sup>	Exposed Exterior
Upper 2x4 walls	Uninsulated 2x4 siding	Medium	0.75	754.4 ft <sup>2</sup>	Exposed Exterior
Upper 2x4 walls to attic	R-19 2x6 G1 FGB to attic	Medium	0.75	216.0 ft <sup>2</sup>	Exposed Exterior

## Wall Library List

Name	Effective R-value
Double Brick	2.84
R-19 2x6 G1 FGB to attic	15.136
R-24 2x4 CCF	16.118
Uninsulated 2x4 siding	3.017

## Glazing

Name	Library Type	Wall Assignment	Foundation Wall Assignment	Is Operable	Overhang Depth	Overhang Ft To Top	Overhang Ft To Bottom	Orientation	Surface Area
0 B	Dbl/LoE-Vinyl-.27.30		Cellar walls	No	0	0	0	West	3.0 ft <sup>2</sup>
0 L	Dbl/LoE-Vinyl-.27.30		Cellar walls	No	0	0	0	South	4.0 ft <sup>2</sup>
0 R	Dbl/LoE-Vinyl-.27.30		Cellar walls	No	0	0	0	North	2.7 ft <sup>2</sup>
0 R	Dbl/LoE-Vinyl-.27.30		Cellar walls	No	0	0	0	North	5.5 ft <sup>2</sup>
1 B	Dbl/LoE-Vinyl-.27.30	Rear addition 2x4 walls reinsulated		Yes	0	0	0	West	18.0 ft <sup>2</sup>
1 B	Dbl/LoE-Vinyl-.27.30	Main Brick Walls		No	1	1	3	West	10.0 ft <sup>2</sup>
1 B Door	Dbl/LoE-Vinyl-.27.30	Main Brick Walls		Yes	0	0	0	West	33.0 ft <sup>2</sup>
1 F	Double Wood default	Main Brick Walls		Yes	8	1	5	East	23.0 ft <sup>2</sup>
1 F	Double Wood default	Main Brick Walls		Yes	2	1	4.5	North	6.5 ft <sup>2</sup>
1 F half lite	Double Wood default	Main Brick Walls		Yes	8	2	5	North	6.0 ft <sup>2</sup>
1 L	Double Wood default	Main Brick Walls		Yes	4	1	6.5	South	18.0 ft <sup>2</sup>
1 L	Dbl/LoE-Vinyl-.27.30	Rear addition 2x4 walls reinsulated		Yes	0	0	0	South	14.0 ft <sup>2</sup>

# Building Summary



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1313 7th St  
Projected HERS

**Builder**  
Clearwater Design Studio

Name	Library Type	Wall Assignment	Foundation Wall Assignment	Is Operable	Overhang Depth	Overhang Ft To Top	Overhang Ft To Bottom	Orientation	Surface Area
1 L	Double Wood default	Main Brick Walls		Yes	4	1	6.5	South	18.0 ft <sup>2</sup>
1 L	Dbl/LoE-Vinyl-.27.30	Rear addition 2x4 walls re-insulated		Yes	0	0	0	South	5.0 ft <sup>2</sup>
1 R	Dbl/LoE-Vinyl-.27.30	Main Brick Walls		No	1	1	5	North	12.0 ft <sup>2</sup>
1 R	Dbl/LoE-Vinyl-.27.30	Main Brick Walls		No	0	0	0	North	6.0 ft <sup>2</sup>
1 R	Dbl/LoE-Vinyl-.27.30	Rear addition 2x4 walls re-insulated		Yes	0	0	0	North	7.0 ft <sup>2</sup>
1 R	Dbl/LoE-Vinyl-.27.30	Rear addition 2x4 walls re-insulated		Yes	1	0	3	North	11.0 ft <sup>2</sup>
2 B	Dbl/LoE-Vinyl-.27.30	Rear addition 2x4 walls re-insulated		No	0	0	0	West	17.0 ft <sup>2</sup>
2 B	Dbl/LoE-Vinyl-.27.30	Rear addition 2x4 walls re-insulated		Yes	1	1	3.5	West	20.0 ft <sup>2</sup>
2 F	Dbl/LoE-Vinyl-.27.30	Main Brick Walls		Yes	2	1	5.5	North	12.0 ft <sup>2</sup>
2 F	Dbl/LoE-Vinyl-.27.30	Main Brick Walls		Yes	2	1	5.5	North	12.0 ft <sup>2</sup>
2 L	Dbl/LoE-Vinyl-.27.30	Upper 2x4 walls		Yes	0	0	0	South	11.0 ft <sup>2</sup>
2 L	Dbl/LoE-Vinyl-.27.30	Rear addition 2x4 walls re-insulated		Yes	1	0	3	South	24.0 ft <sup>2</sup>
2 L	Dbl/LoE-Vinyl-.27.30	Rear addition 2x4 walls re-insulated		Yes	1	0	2.5	South	7.0 ft <sup>2</sup>
2 L Door	Dbl/LoE-Vinyl-.27.30	Upper 2x4 walls		Yes	0	0	0	South	33.0 ft <sup>2</sup>
2 R	Dbl/LoE-Vinyl-.27.30	Upper 2x4 walls		Yes	0	0	0	North	12.5 ft <sup>2</sup>
2 R	Dbl/LoE-Vinyl-.27.30	Upper 2x4 walls		Yes	0	0	0	North	5.2 ft <sup>2</sup>

## Glazing Library List

Name	Shgc	U-factor
Dbl/LoE-Vinyl-.27.30	0.3	0.270
Double Wood default	0.7	0.550

## Skylight

None Present

# Building Summary



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1313 7th St  
Boulder, CO 80302

**Organization**  
Scott Energy Services  
Luke Griess

**Inspection Status**  
Results are projected

1313 7th St  
Projected HERS

**Builder**  
Clearwater Design Studio

## Skylight Library List

None Present

## Opaque Door

Name	Library Type	Wall Assignment	Foundation Wall Assignment	Emittance	Solar Absorptance	Surface Color	Surface Area	Location
Front Entry door opaque area	2-1/4 Wd solid core	Main Brick Walls		0.9	0.75	Medium	14.0 ft <sup>2</sup>	Exposed Exterior
Side entry	Custom door -R4	Rear addition 2x4 walls reinsulated		0.9	0.75	Medium	20.1 ft <sup>2</sup>	Exposed Exterior
Side entry	Custom door -R4	Rear addition 2x4 walls reinsulated		0.9	0.75	Medium	14.0 ft <sup>2</sup>	Exposed Exterior

## Opaque Door Library List

Name	Effective R-value
2-1/4 Wd solid core	2.80
Custom door -R4	4.00

## Roof Insulation

Name	Library Type	Attic Exterior Area [ft <sup>2</sup> ]	Clay or Concrete Roof Tiles	Does the Roof have Eaves?	Roof Slope	Ceiling Framing Height [in.]	Eave Height [in.]	Eave Length [in.]	Surface Color	Solar Absorptance	Surface Area	Location
Attic over main	R-44 G2 FGB	781	No	No	N/A	N/A	N/A	N/A	Medium	0.75	54.0 ft <sup>2</sup>	Attic
Attic over upper	R-49 Attic G1 FGL	781	No	No	N/A	N/A	N/A	N/A	Medium	0.75	710.0 ft <sup>2</sup>	Attic
Roof Addition	R-64 Vault CCF	355	No	No	N/A	N/A	N/A	N/A	Medium	0.75	355.0 ft <sup>2</sup>	Vaulted Roof

# Building Summary



**Property**  
1313 7th St  
Boulder, CO 80302

**Organization**  
Scott Energy Services  
Luke Griess

**Inspection Status**  
Results are projected

1313 7th St  
Projected HERS

**Builder**  
Clearwater Design Studio

## Roof Insulation Library List

Name	Has Radiant Barrier	Effective R-value
R-44 G2 FGB	No	78.309
R-49 Attic G1 FGL	No	49.18
R-64 Vault CCF	No	47.753

## Whole House Infiltration

Infiltration	Measurement Type	Shelter Class
5 ACH at 50 Pa	Blower-door tested	4

## Mechanical Ventilation

None Present

## Lighting

% Interior Fluorescent Lighting	% Interior LED Lighting	% Exterior Fluorescent Lighting	% Exterior LED Lighting	% Garage Fluorescent Lighting	% Garage LED Lighting
0	100	0	100	0	100

## Onsite Generation

None Present

## Onsite Generation Library List

None Present

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Clearwater Design Studio

## Solar Generation

None Present

## Dehumidifier

None Present

## Dehumidifier Library List

None Present

## Whole House Fan

None Present

## Whole House Fan Library List

None Present

## Conditioning Equipment

Name	Library Type	Serial Number	Heating Percent Load	Cooling Percent Load	Hot Water Percent Load	Location
Gas furnace	80AFUE Gas Furn 82k		70%	0%	0%	Conditioned Crawlspace
New ductless mini-split	10 HSPF2 22k 17 SEER2 18k ductless		30%	100%	0%	Conditioned Space
Water Heater	40 Gal 0.58 UEF Gas		0%	0%	100%	Conditioned Crawlspace

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Clearwater Design Studio

## Equipment Type: 10 HSPF2 22k 17 SEER2 18k ductless

Equipment Type	Air Source Heat Pump
Fuel Type	Electric
Distribution Type	Forced Air Ductless
Motor Type	ECM (Variable Speed)
Heat Pump System Type	Split System
Heating Efficiency	10 HSPF2
Heating Capacity [kBtu/h]	22
Cooling Efficiency	17 SEER2
Cooling Capacity [kBtu/h]	18

## Equipment Type: 40 Gal 0.58 UEF Gas

Equipment Type	Residential Water Heater
Fuel Type	Natural Gas
Distribution Type	Hydronic Delivery (Radiant)
Hot Water Efficiency	0.58 UEF
Tank Capacity (gal.)	40
Hot Water Capacity [kBtu/h]	36
Recovery Efficiency	0.77

## Equipment Type: 80AFUE Gas Furn 82k

Equipment Type	Furnace
Fuel Type	Natural Gas
Distribution Type	Forced Air
Motor Type	ECM (Variable Speed)
Heating Efficiency	80 AFUE
Heating Capacity [kBtu/h]	82
Use default EAE	No
EAE [kWh]	1,154

# Building Summary



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Projected HERS

**Builder**  
Clearwater Design Studio

## Distribution System

Distribution Type	Forced Air
Heating Equipment	Gas furnace
Sq. Feet Served	1,420
# Return Grilles	3
Supply Duct R Value	6
Return Duct R Value	6
Supply Duct Area [ft <sup>2</sup> ]	383.4
Return Duct Area [ft <sup>2</sup> ]	213
Leakage to Outdoors	25 CFM @ 25Pa (1.76 / 100 ft <sup>2</sup> )
Total Leakage	Untested
Total Leakage Duct Test Conditions	No Test
Use Default Flow Rate	Yes
Duct 1	
Duct Location	Conditioned Space
Percent Supply Area	100
Percent Return Area	100
Duct 2	
Duct Location	Conditioned Space
Percent Supply Area	0
Percent Return Area	0
Duct 3	
Duct Location	Conditioned Space
Percent Supply Area	0
Percent Return Area	0
Duct 4	
Duct Location	Conditioned Space
Percent Supply Area	0
Percent Return Area	0
Duct 5	
Duct Location	Conditioned Space
Percent Supply Area	0
Percent Return Area	0
Duct 6	
Duct Location	Conditioned Space
Percent Supply Area	0
Percent Return Area	0

## Distribution System

Distribution Type	Forced Air Ductless
Heating Equipment	New ductless mini-split
Cooling Equipment	New ductless mini-split
Is All Equipment In Conditioned Space	Yes
Leakage Default	HERS Default Leakage
Duct System Efficiency	1

## HVAC Grading

HVAC Grading Not Conducted

# Building Summary



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Projected HERS

**Builder**  
Clearwater Design Studio

## Ceiling Fan

Has Ceiling Fan	No
-----------------	----

## Water Distribution

Water Fixture Type	Standard
Use Default Hot Water Pipe Length	No
Hot Water Pipe Length [ft]	60
At Least R3 Pipe Insulation?	No
Hot Water Recirculation System?	No
Drain Water Heat Recovery?	No

## Clothes Dryer

Cef	3.93
Fuel Type	Electric
Field Utilization	Moisture Sensing
Is Outside Conditioned Space	No
Clothes Dryer Available	Yes
Defaults Type	Custom

## Clothes Washer

Label Energy Rating	250 kWh/Year
Annual Gas Cost	\$25.00
Electric Rate	\$0.12/kWh
Gas Rate	\$1.09/Therm
Capacity	5
Imef	2.05
Defaults Type	Custom
Load Type	Front-load
Loads Per Week	6
Is Outside Conditioned Space	No
Clothes Washer Available	Yes

## Dishwasher

Dishwasher Defaults Type	Custom
Dishwasher Size	Standard
Dishwasher Efficiency	467 kWh
Annual Gas Cost	\$33.12
Electric Rate	\$0.12/kWh
Gas Rate	\$1.09/Therm
Is Outside Conditioned Space	No
Dishwasher Available	Yes



# Building Summary



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**Builder**  
Clearwater Design Studio

## Appliances and Controls

Programmable thermostat?	Yes
Range/Oven Fuel	Electric
Convection Oven?	Yes
Induction Range?	No
Range/Oven Outside Conditioned Space?	No
Refrigerator Consumption	691 kWh/Year
Refrigerator Outside Conditioned Space?	No

## Notes

City of Boulder, applying for a variance to remodel existing structure, raise ceiling and insulate at old rear addition and at cellar/crawlspace, replace most windows.

Goal is to show at least a 10% energy use reduction for heating or cooling purposes from Baseline HERS to Projected HERS

Baseline HERS= 378  
Estimated annual consumption: 334.8 MMBtu

Projected HERS= 131  
Estimated annual consumption:

- Improvements:
- crawlspace and cellar walls insulated to R-19
  - rim joists at R-21
  - walls at rear addition insulated to R-24
  - Ceiling at rear addition insulated to R-64
  - Existing attic insulated to R-49
  - Upper rear wall insulated to R-19
  - New windows throughout, .27 U factor avg.
  - 2 main floor front windows and two main floor left side windows remaining, are thin double pane wood.
  - New ductless mini-split for rear addition, 10 HSPF2 17 SEER2
  - Increase LED lighting to 100%
  - all new appliances
  - Reduce air leakage to 5 ACH50

# End Use Energy Costs



**Property**  
1313 7th St  
Boulder, CO 80302

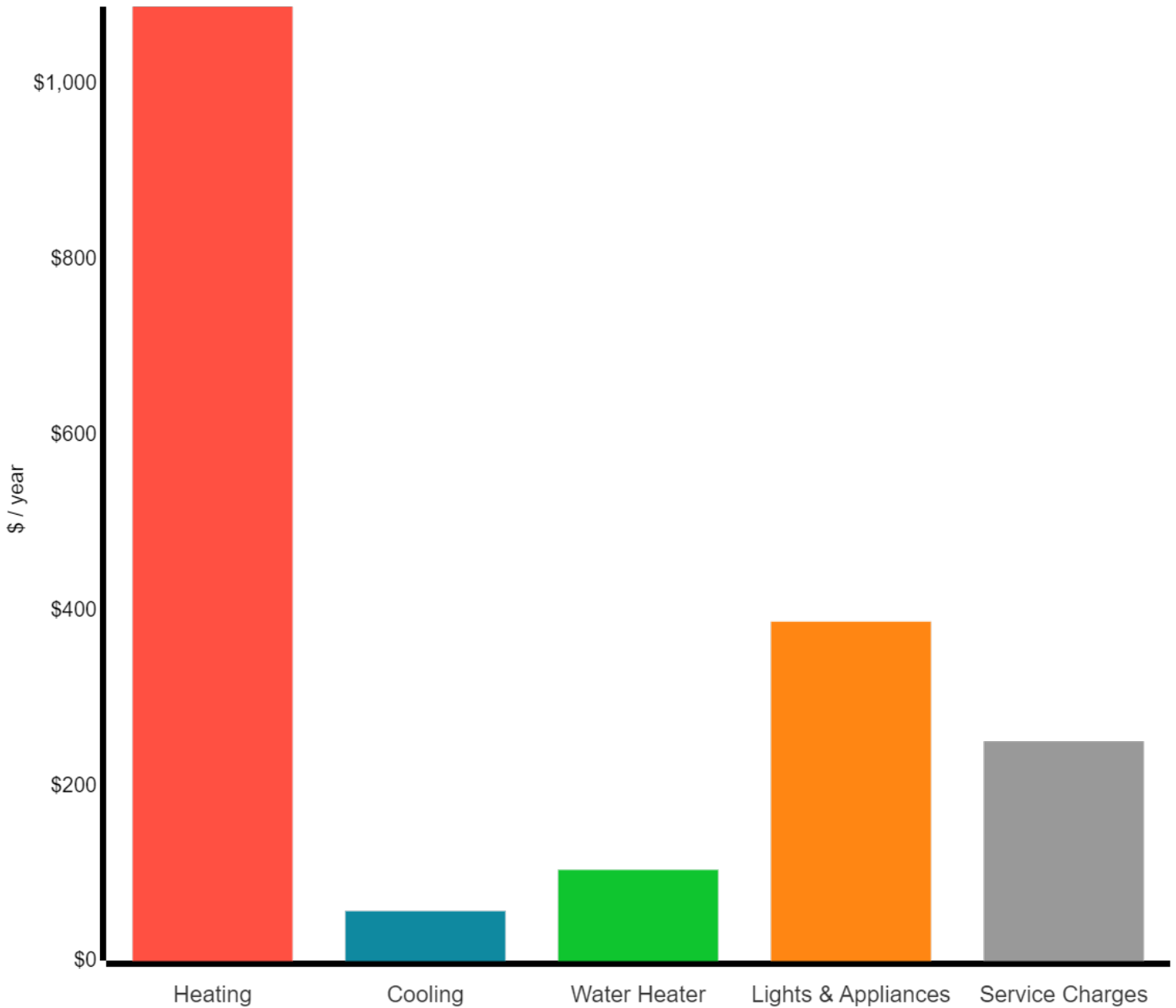
**Organization**  
Scott Energy Services  
Luke Griess

**Inspection Status**  
Results are projected

1313 7th St  
Projected HERS

**Builder**  
Clearwater Design Studio

## Annual Energy Cost



# Lighting and Appliances



**Property**  
1313 7th St  
Boulder, CO 80302

**Organization**  
Scott Energy Services  
Luke Griess

**Inspection Status**  
Results are projected

1313 7th St  
Projected HERS

**Builder**  
Clearwater Design Studio

## ANNUAL SUMMARY

Summary	Consumption	Annual Cost [\$]
Lighting [kWh/Year]	502.1	48
Electric Appliances [kWh/Year]	3,556.9	338
Fossil Fuel Appliances [MBtu/Year]	0.0	0
<b>Total</b>	<b>-</b>	<b>386</b>

## LIGHTING

Lighting Scheme	Consumption [kWh/Year]	Annual Cost [\$]
Interior Lighting	471.4	45
Exterior Lighting	30.7	3
Garage Lighting	0.0	0
<b>Total</b>	<b>502.1</b>	<b>48</b>

## FOSSIL FUEL APPLIANCES

Appliance Type	Consumption [MBtu/Year]	Annual Cost [\$]
Clothes Dryer	0.0	0
Range/Oven	0.0	0
<b>Total</b>	<b>0.0</b>	<b>0</b>

## ELECTRIC APPLIANCES

Appliance Type	Consumption [kWh/Year]	Annual Cost [\$]
Dishwasher	107.4	10
Range/Oven	388.6	37
Refrigerator	691.0	66
Clothes Dryer	194.8	19
Clothes Washer	96.3	9
Mechanical Ventilation	0.0	0
Ceiling Fan	0.0	0
Television	551.0	52
Miscellaneous	1,527.9	145
<b>Total</b>	<b>3,556.9</b>	<b>338</b>

## Kyle Callahan

---

**From:** City of Boulder <boulder@user.govoutreach.com>  
**Sent:** Thursday, February 15, 2024 1:22 PM  
**To:** Kyle Callahan  
**Subject:** Message About Request # 136428 [6335373061633639]

---If replying by email, enter your reply above this line--- Dear kyle,

Hi Kyle-

My pleasure and if the prospective property owners are now proposing interior renovations rather than a replacement/expansion, and the exterior walls and roof are to remain as is, then it appears you'd be meeting 9-10-3 and would not need to seek a setback variance via BOZA. Just the building permit. And interior work likely won't trigger Historic review either. By the looks of it, a lot of non-permitted "stuff" has occurred in the subject rear addition so bringing all of that up to code or to how the homeowners would want won't be of issue from a zoning standpoint. Regarding parking, I did a little more digging and chatted with Brian and a few folks and it looks like it's been quite some time since this property has had recognized parking, let alone conforming parking. If you're able to verify the rear addition/portion to the home was completed pre-1950's when Boulder's parking standards were established, I think we can get to where we won't require parking at time of building permit given this background and history. And unless the homeowners want off-street parking, dealing with a new curb cut along 7th or parking setback variance won't be necessary.

-Robbie

This is in reference to the Problem you submitted  
on: 02/07/2024 10:13 AM  
Description: Sorry to be so late, Kevin - I had a packed afternoon.

I spoke this afternoon with Fred about his discussion with you today. I'd like to shed a little light on the proposed alterations and ask if you would help us understand the opportunities and limits. Fred and Lisa are buying the home with the intent to relocate here from back east. To make the home work for their lifestyles and enjoyment, certain alterations are needed. My questions center on code section 9-10-3 of the BRC.

The home is located facing 7th, just north of Pleasant. In 2013, Gregory Creek surged downhill about 150' east of here - cascading through another client's lot (Nancy Pierce's, at 711 University). That event gave us all a healthy respect for the extraordinary damage potential caused by extreme events like the flood, but also regard for the more mundane, yet regular onslaught over time of lesser episodes. The west side addition to the home at 1313 7th was simply built too low and close to grade. This is abundantly clear while standing in the backyard with Fred and Lisa this past week. There's a pretty cool brick paver courtyard just south of this addition - tilted maybe 2% down towards the north - towards the home. The effects of water over time flowing against, and maybe into, the home are made clear by the degradation of the siding that's about an inch above grade, and the residual sandy deposition adjacent to the foundation. The floor slab directly inside the home is about 30" below this paver patio, and the second floor of the addition is about 8' above the slab.

My first inclination is to raise the lower floor of the addition to a point that is above the adjacent grade - that's about 36" - 42". Doing that would significantly reduce the potential for continued damage to the home and exterior finish /

sheathing from overlot drainage. That would also necessitate raising the second floor as well - to allow the lower floor space to be occupied - thus the second floor would need to be raised 4' or more - likely so that the sheathing of the second floor could be used to brace the existing lower floor walls. Then - of course - the roof would follow suit and be raised as well. Suddenly, we're lifting the entire west side of the house to match the floor elevations of the original home. The scanned sketches attached to this email outline this scope. The yellow region on the first page shows the footprint of the home highlighting the approximate position for the home's encroachment into the rear yard setback.

My proposed alterations would result in no additional coverage (actually, a little less coverage by removing a masonry chimney) and no new floor area. The position of the home being directly south of the alley likely makes this alteration possible from a solar shading perspective, and judicious treatment of the roof form would allow our managing the bulk plane, too. However, the rear yard setback becomes the pacing consideration, for the addition to the west of the home was built to about 4' from the west property line.

Chapter 9-10-3 of the BRC provides direction relative to altering non-standard homes on Non-standard lots. Section 9-10-3 (a) (2) in particular addresses maintaining a non-standard setback. Section (A) below indicates that setback can be maintained if one keeps the existing foundation and exterior walls - which would be our intent. Section (3) below this indicates that a variance would need to be granted. These code sections seem to allude to our being able to accomplish this scope! However, continuing along in this code section, and this also being a non-standard lot in addition to non-standard house, code section 9-10-3 (b) (4) suggests that a variance would be granted if "(A) the building modification meets the setback requirements of section 9-7-1....". My concern here being that we have a non-standard building on a non standard lot. To raise the west portion of the house will involve raising the elevation of the structure above it's existing wall and roof height.

The existing lower level exterior walls would be preserved as required by this code section. However, the upper portion created by extruding the form vertically above the existing first floor walls, would result in the alteration to the walls and roof being positioned within the rear yard setback. If doing so, the code section seems to indicate that a variance would not be granted, as the modification which results in our extruding the upper level walls and roof would not conform to section 9-7-1 of the BRC. A small snip of this concept is sketched in the lower right of page 3 of the attached sketch.

There's a lot riding on the opportunity for the Corrado family being able to raise the west side of the home with it remaining in the rear yard setback. To be prevented from this would result in the need to create an entirely new addition south of the existing home. That is a configuration that Fred and Lisa would not want as it would eradicate a significant portion of the south yard - one of the more endearing aspects of the home. The timeline to understand this opportunity is brief - The Corrado family has made an offer to purchase the home which has been accepted. We recognize that it would not be possible to design and apply for and approve a variance in this short time frame. However, we ask that perhaps you would share this conceptual plan and narrative with a planner possessing extensive experience in matters of non-standard home alterations. Perhaps Brian Holmes? I have great respect for your and Brian's histories in these kinds of considerations, and your deep comprehension of subtly nuanced projects. I would be available for a call, an online team meeting, or, dare I say it, an actual face to face site visit (?) if that would be possible.

Thanks for your help, Kevin - I look forward to working with you to determine a path forward, and to a good project and a fantastic new family moving here.

K

Clearwater Design Studio - Architecture  
Kyle Callahan (He/him/his)  
Founder, Architect

You may reply to this email to send a response or you can view this request online at:  
<<http://user.govoutreach.com/boulder/case.php?id=7445627&access=6335373061633639>>

Thank you for your time.



**From:** [Thomas Krueger](#)  
**To:** [BOZA](#)  
**Subject:** docket #BOZ2024-00011 (1313 7th St.)  
**Date:** Monday, September 30, 2024 6:34:57 PM

---

External Sender Notice This email was sent by an external sender.

Board Members and Staff:

We are residents of 655 Pleasant St, and we share a portion of our east property line with the west property line of 1313 7th St. We are enthusiastically in support of the variance request submitted by Fred and Lisa Corrado. The house and a structurally suspect addition significantly predate current zoning requirements. The previous owner was on the property for many years, and chose to defer a lot of maintenance. When the house went on the market, we were concerned that, as so frequently happens in Boulder, the structure would be razed or used as a student or short-term rental. So we were pleased to learn that the Corrados are willing to make this their home and have embarked on an extensive home improvement project. The variance request is the minimum required to provide structural integrity and improve energy efficiency as part of that project. We enthusiastically recommend board approval of the variance request.

Thomas Krueger

Sheila Goetz



**City of Boulder Planning and Development Services**  
 1101 Arapahoe Avenue • Boulder, CO 80306  
 Phone: 303-441-1880 • Web: boulderplandevlop.net

# BOARD OF ZONING ADJUSTMENT (BOZA)

## VARIANCE APPLICATION FORM

**APPLICATION DEADLINE IS THE SECOND MONDAY OF EACH MONTH.  
 MEETING DATE IS 4PM (MST) ON THE SECOND TUESDAY OF THE FOLLOWING MONTH.**

*\*Submittal of inaccurate or incomplete information and materials may result in rejection or delay of the application.\**

### GENERAL DATA

(To be completed in full by the applicant.)

- Street Address or General Location of Property: 2715 Elm Avenue, Boulder, Colorado, 80305
- Legal Description: Lot 12 Block 4 Subdivision Highland Park (Or attach description.)
- Lot Size: 6,300 sf
- Existing Use of Property: Single Family Residence
- Detailed Description of Proposal (Specific Variance[s] Requested Including All Pertinent Numerical Values (e.g.: Existing, Required and Proposed Setbacks for the Subject Setback Variance):  
Convert existing storage room to interior finished space while keeping the lot configured as is, with off-street located partly within the front yard setback

*Total gross floor area existing: 2,107 SF	*Total gross floor area proposed: 2,107 SF
*Total gross building coverage existing: 1,600 SF	*Total gross building coverage proposed: 1,600 SF
*Building height existing: 22'-6"	*Building height proposed: 22'-6" (no change proposed)

\*See definitions in Section 9-16-1, B.R.C. 1981.

- ◆ **Name of Owner:** Kyle Luh
- Address: 2715 Elm Ave Telephone: \_\_\_\_\_
- City: Boulder State: Colorado Zip Code: 80305 Email: kyleluh@gmail.com
- ◆ **Name of Contact (if other than owner):** Kyle Callahan - Clearwater Design Studio
- Address: 2975 Valmont Road, suite 100 Telephone: 303-545-2007
- City: Boulder State: Colorado Zip Code: 80301 Email: kyle@clearwaterdesignstudio.com



**APPLICATION TYPES (Check All That Apply For This Application)**

- Setback (BRC 9-7-1)
- Porch Setback & Size (BRC 9-7-4)
- Building Separation (BRC 9-7-1)
- Bulk Plane (BRC 9-7-9)
- Side Yard Wall Articulation (BRC 9-7-10)
- Building Coverage (BRC 9-7-11 or BRC 9-10)
- Floor Area Ratio (BRC 9-8-2)
- Parking in Front Yard Landscape Setback (BRC 9-7-1 & 9-9-6)
- Size and Parking Setback Requirements for Accessory Units (BRC 9-6-4)
- Cumulative Accessory Building Coverage (BRC 9-7-8)
- Mobile Home Spacing Variance (BRC 9-7-13)
- Use of Mobile Homes for Non-Residential Purposes (BRC 10-12-6)
- Solar Exception (BRC 9-9-17)
- Sign Variance (BRC 9-9-21)
- Fence and Wall Variance (BRC 9-9-15)

**APPLICATION REQUIREMENTS**

All variance applications are electronic submittal and review. Visit the Planning & Development Services Online Center for additional information & guidance on the application process and how to apply. As a minimum, the following items MUST ultimately be provided for an application to be considered complete:

- A completed and signed BOZA Application Form;
- If the applicant is other than owner(s), a written consent of the owner(s) of the property for which the variance is requested;
- A detailed written statement thoroughly describing the variance request(s) and addressing all pertinent review criteria for approval – see *BOZA Info & Criteria Guide*;
- A signed and stamped Improvement Location Certificate or Site Improvement Survey and legal description by a registered surveyor;
- A site development plan including setbacks, building elevations, interior layout/floor plans and any other pertinent exhibits;
- A demolition plan clearly differentiating between existing/remaining and proposed portions of the structure(s);
- Any other information pertinent to the variance request (e.g. neighbor letters, photos, historic records/approvals, renderings, etc.);
- A completed and signed ‘Sign Posting Acknowledgement Form’ *Note: The applicant is responsible for posting the property in compliance with city requirements. Obtaining sign(s) will be messaged to an applicant once it has been placed on an agenda. The applicant will be responsible for posting the required sign(s) within 10 days of the hearing date. Failure to post the required sign(s) may result in the postponement of the hearing date.*
- A Board of Zoning Adjustment application fee (as prescribed in the current ‘Schedule of Fees’ which can be found at [bouldercolorado.gov/plan-develop](http://bouldercolorado.gov/plan-develop)).

---

**NOTE: SEE SECTION 9-2-3(I), B.R.C. 1981 FOR VARIANCE EXPIRATION INFORMATION**

Applicant Signature \_\_\_\_\_ Date 08/28/2024

Owner (if other than Applicant) Signature \_\_\_\_\_ Date \_\_\_\_\_

**SIGN POSTING REQUIREMENTS  
APPLICANT'S ACKNOWLEDGMENT FORM**

Required for Certain Land Use Review, Administrative Review, Technical Document Review, and Board of Zoning Adjustment Applications

**CITY CODE REQUIREMENT FOR SIGN POSTING OF LAND USE REVIEW APPLICATIONS -**

**Excerpt of Section 9-4-3(c), B.R.C. 1981:** Public Notice of Application: The city manager will provide the following public notice of a development review application:

(1) Posting: After receiving such application, the manager will cause the property for which the application is filed to be posted with a notice indicating that a development review application has been made, the type of review requested, and that interested persons may obtain more detailed information from the planning department. The notice shall meet the following standards:

(A) The notice shall be placed on weatherproof signs that have been provided by the City and placed on the property that is the subject of the application.

(B) All such notice shall be posted no later than ten days after the date the application is filed to ensure that notice is posted early in the development review process.

(C) The signs shall be placed along each abutting street, perpendicular to the direction of travel, in a manner that makes them clearly visible to neighboring residents and passers-by. At least one sign shall be posted on each street frontage.

(D) The signs shall remain in place during the period leading up to a decision by the approving authority, but not less than ten days.

(E) On or before the date that the approving authority is scheduled to make a decision on the application the city manager will require the applicant to certify in writing that required notice was posted according to the requirements of this section.

I, \_\_\_\_\_, am filing a Land Use Review, Administrative Review, Technical Document Review, or BOZA application [on behalf of] \_\_\_\_\_ for the property located at \_\_\_\_\_. I have read the city's sign posting requirements above and acknowledge and agree to the following:

(PRINT NAME OF APPLICANT OR CONTACT PERSON)

(PRINT NAME OF OWNER(S) IF OTHER THAN APPLICANT/CONTACT)

(PRINT PROPERTY ADDRESS OR LOCATION)

1. I understand that I must use the sign(s) that the city will provide to me at the time that I file my application. The sign(s) will include information about my application and property location to provide required public notice.
2. I am responsible for ensuring that the sign(s) is posted on the property described above in such a way that meets the requirements of Section 9-4-3(c), B.R.C. 1981 (listed above), including visibility of the sign(s) and time and duration of the sign(s) posting, and including reposting any signs that are removed, damaged, or otherwise displaced from the site. As necessary, I shall obtain a replacement sign(s) from the city for reposting.
3. I understand that certain future changes to my application, including but not limited to, changes to the project description or adding a review type, may require that I post a new sign(s). The city will notify me if such a reposting is required and provide me with a necessary replacement sign(s).
4. I understand that failing to provide the public notice by sign posting required by the city's land use regulation may result in a delay in the city's issuing a decision or a legal challenge of any issued decision.

\_\_\_\_\_  
NAME OF APPLICANT OR CONTACT PERSON

\_\_\_\_\_  
DATE

Please keep a copy of this signed form for your reference. If you have any questions about the sign posting requirements or to obtain a replacement sign, please call 303-441-1880.

August 8<sup>th</sup>, 2024

I, Kyle Luh, owner of the property at 2715 Elm Ave., consent to Kyle Callahan of Clearwater Design Studios being the applicant for the Board of Zoning Adjustment variance application.

Signature (Owner)

A handwritten signature in black ink, appearing to read "Kyle Luh". The signature is written in a cursive style with a long, sweeping underline.



## Variance Narrative - 2715 Elm Avenue

**Proposal to Create a Level 2 Alteration to an existing residence while continuing to maintain the existing non conforming parking in the required front yard setback**



### Variance required

The homeowners of 2715 Elm Avenue seek relief from the requirements of Boulder Revised code section 9-9-6 Parking Standards. A proposed Level 2 Alteration will convert existing unconditioned exterior enclosed storage space to interior enclosed finished space. The project will cause existing off-street parking in the front yard setback to continue.

### Project Background

The home at 2715 Elm Avenue was initially constructed in 1952. Given the configuration of both adjacent residences located to the east and west of the home, we believe that the home was built with an enclosed garage located on the southeast corner of the home. The images below show 2705 and 2715 Elm Avenue respectively:





We have not discovered a permit that would suggest when the existing garage was converted from a garage to a storage room, accessible from both the interior of the home and from the existing driveway. We do have a copy of the appraisal card provided by the Boulder County Assessor that shows the garage as being there when the home was built, and other evidence that suggests it had been converted to a shed prior to February of 2001.

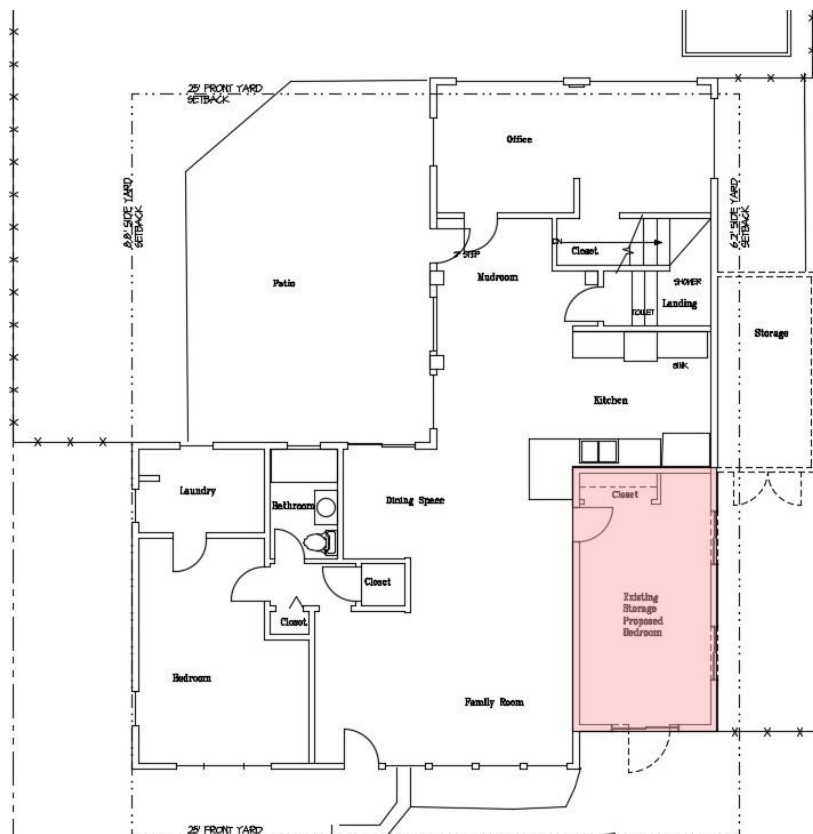
### Proposed Alterations

The homeowners live in the home and have a young 3-year-old daughter in their 2-bedroom residence. They can see the value of converting the existing storage space to a finished interior bedroom, thus creating a 3-bedroom home from the 2-bedroom home.

To convert the existing unfinished storage space to interior finished bedroom space, the following scope of work is required:

- Remove the existing exterior door accessing the shed.
- Add several windows on the east and south exterior walls.
- Build an insulated floor.
- Insulate and finish the interior face of the walls and roof of the shed.
- Install limited electrical outlets and lighting services and provide a heat source.
- Construct a closet.

The scope of work for the level 2 alteration is shown below, highlighted in red shading



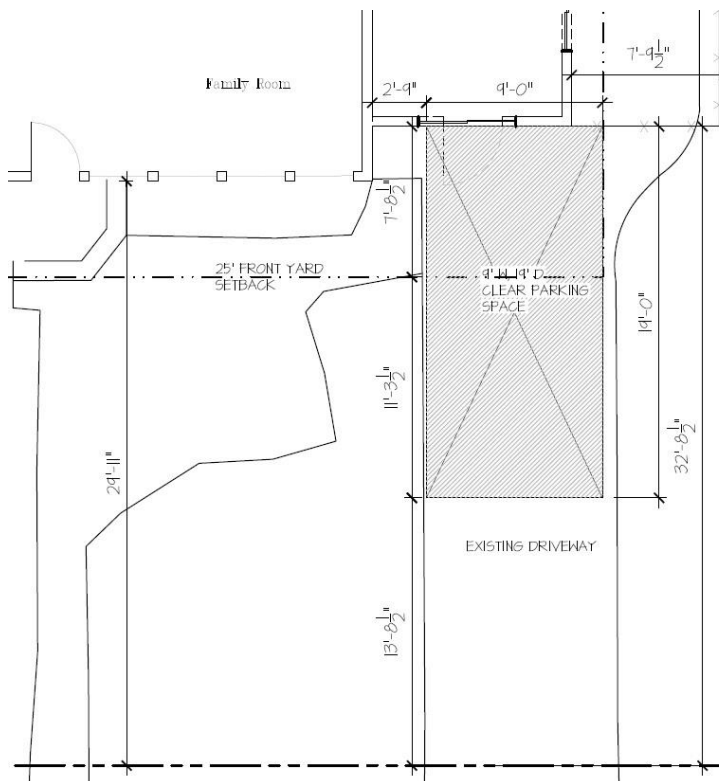


### Off Street Parking

There are no construction parameters associated with the proposed alteration that run counter to City of Boulder Building regulations. The existing home conforms to maximum floor area, coverage and bulk plane regulations. The proposed alteration will be made to conform to building construction regulations and the City of Boulder Energy Conservation Code – prescriptive guidelines. However, the City of Boulder requires a minimum of one 19' x 9' off-street parking space for homes located in the RL-1 zone district. That parking is prohibited from being located within the required front yard setback, which cannot be accommodated due to the position of the existing home. As such, we have prepared this variance and supporting documentation to show the intended construction to take place at the home and to seek relief from the location of the off-street parking requirement from the BOZA.

1. As currently configured, there is no off-street parking associated with this lot outside the front yard setback. The homeowners park their vehicle in the existing concrete driveway in front of the home on the southeast side of the building.
2. In that location, due to the building position relative to the front property line being 32'-8 1/2" north, the required 19' deep parking space projects 11'-3 1/2" into the required setback (7'-8 1/2" of the required parking space is compliant with regulations).
3. The front yard setback at the required parking space is 13'-8 1/2", where 25' is required.

The off-street parking space is shown below in gray shading:

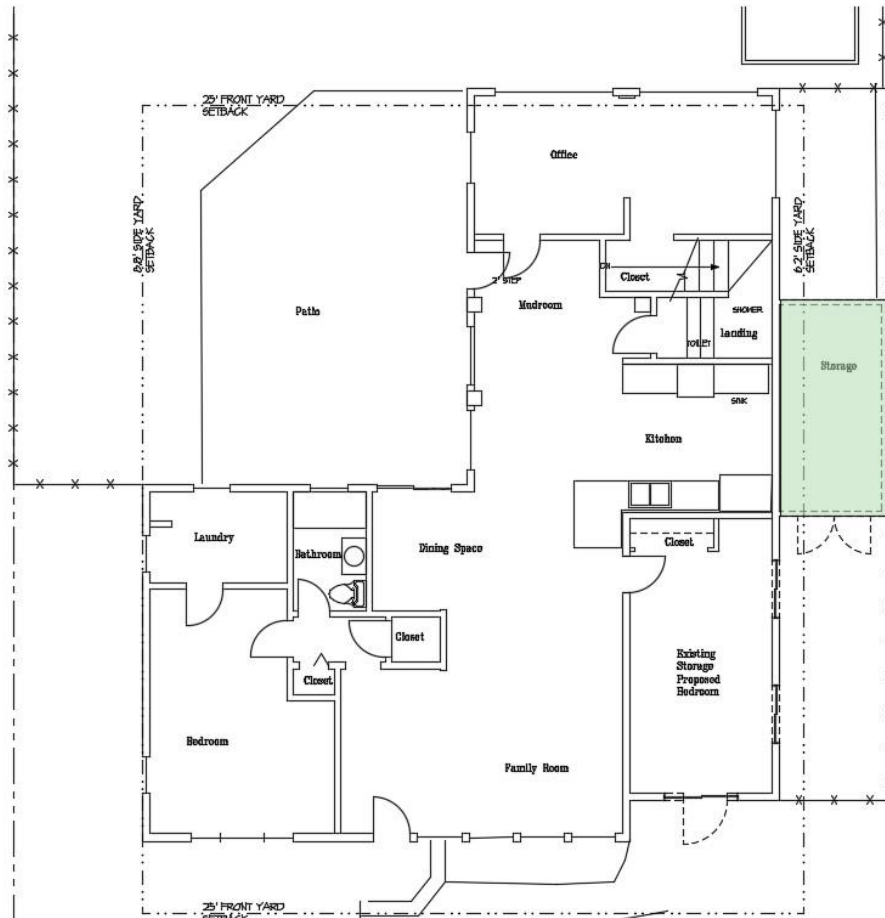




### Out of sequence construction

The homeowners, in their hopeful anticipation to make the proposed improvements to their home, began the construction work in advance of applying for and receiving a building permit. In addition to the interior changes proposed, they also began construction on a new exterior storage addition attached to the east side of their home. That addition is now planned for demolition/removal, as it projects east to approximately 1'-0" from the east property line where the required side yard setback on that side is 6'-2".

The scope of work for the demolition is shown below, highlighted in green shading:







### Variance Review Criteria

With the new non-compliant storage addition on the east being removed from the project, then the proposed construction will have no effect on the level of non-compliance with current zoning codes. As it has existed for an undetermined period of time, and since well before the current homeowners purchased the home, parking has been relegated to the existing driveway on the southeast corner of the home. As shown by the image below, there's a swing door in the position where the overhead garage door once existed. The black sedan is parked on the concrete driveway in the position of the current paved off-street parking. The proposed construction project proposes to remove this door and replace it with an egress window.



Per BOZA variance criteria, we are to satisfy the requirements of Variances for Parking Spaces in Front Yard Setbacks, (1) – (7).

#### **Variance Requirement 1 – The Dwelling Unit was built in a RR-1, RR-2, RE, or RL-1 zone District**

The zone district in which this home is situated is RL-1.

#### **Variance Requirement 2 – The Dwelling Unit originally had an attached carport or garage that met the off-street parking requirements at the time of initial development or, at the time of initial construction, an off-street parking space was not required and has not been provided.**

Please see the image below from a copy of an old appraisal record. The appraisal record is included with the variance submission as a separate document. The image shows the garage door on the right side of the home. The address of “2715 Elm” is shown in the foreground.



The following image is from the same assessor record, showing the building in plan in sketch form, with the letter "G" on the plan – identifying the 10 x 19 appendage as the garage. The Garage use is also checked on the left side of the appraisal card:

C. F. HOECKEL CO., DENVER			BUILDING DESCRIPTION AND REPLACEMENT COST RECORD—RESIDENTIAL			(AZ) CARD	1 OF 1 CARDS
(AA) TYPE NO. 137	(AN) DESIGN Ranch	(AV) APPRAISED BY:	(AW) DATE:	Scale:	(AX) Date: 3/25/78	Computed by: GLE	(AY) Reviewed by:
(AB) FIRST STORY M <input checked="" type="checkbox"/> F <input checked="" type="checkbox"/>	YEAR BUILT ADJUSTED YEAR 1952				FIRST FLOOR 19 78 19		
(AC) BASEMENT Full <input type="checkbox"/> Pt. <input type="checkbox"/> No <input checked="" type="checkbox"/>	(AO) ROOMS 5				24 x 28 = 792		
(AD) ABOVE FIRST M <input type="checkbox"/> F <input type="checkbox"/>	(AP) BEDROOMS 3				x =		
(AE) CARPORT <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	(AQ) BATHS				x =		
(AF) CARPORT ROOF Phot <input type="checkbox"/> Flat <input type="checkbox"/>	FIRST FLOOR FIN. AREA 792				x =		
(AG) GARAGE <input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	BASEMENT FIN. AREA 0				x =		
(AH) GARAGE WALL M <input type="checkbox"/> F <input checked="" type="checkbox"/>	TOTAL FINISHED AREA 792				x =		
(AI) Att. <input checked="" type="checkbox"/> Det. <input type="checkbox"/> Base <input type="checkbox"/>	R.C.N./SQ. FT. FIN. AREA				(BA) TOTAL 792 @ \$10.95 = \$8672		
(E) FOUNDATION	APPLIANCES AND MECHANICAL				SECOND FLOOR AND ABOVE		
A Concrete	(N) APPLIANCES TYP. NO. UNIT COST COST				x =		
B Brick	A Cooking Top				x =		
C Stone	B Wall Oven				(BB) TOTAL		
D Brick	C Drop-in Range w/Oven				x =		
E Plaster	D Hood (Standard)				(AC) TOTAL		
F Mud Sillite	E Hood, Custom Str.				x =		
	F Hood, Custom Con.				(AD) TOTAL		
(F) EXTERIOR W.	G Electronic Oven				(AE) TOTAL		
A Fr. Wd. or Sh	H Electric B. B. Q.				x =		
B Fr. Asbestos	I Double Oven				(AF) TOTAL		
C Fr. Stucco	J Central Vacuum				(AG) TOTAL		
D Bricks Veneer	K Intercom, AM-FM				x =		
E Blk. Painted	L Intercom, AM				(AH) TOTAL		
F Blk. Stucco	M Intercom, Remote Sta.				(AI) TOTAL		
G Brk. on Brk./Blk	Z				(AJ) TOTAL		
H Log	(L) PLUMBING				(AK) TOTAL		
I Metal	A Base				(AL) TOTAL		
J Wood/Moosr	B 1/2 Fixture Bath				(AM) TOTAL		
	C 3/4 Bath				(AN) TOTAL		
	D 2 Fixture Bath				(AO) TOTAL		
(G) WINDOWS	E Lavatory				(AP) TOTAL		
	F Water Closet				(AQ) TOTAL		
	G Bath Tub				(AR) TOTAL		
(H) ROOF & FRNG.	H Ramps Tub				(AS) TOTAL		
A Flat	I Stall Shower				(AT) TOTAL		
B Shed	J Stall Shower, w/Door				(AU) TOTAL		
C Gable	K Kitchen Sink				(AV) TOTAL		
D Hip	L Water Heater				(AW) TOTAL		
E Gambrel	M Laundry Tray				(AX) TOTAL		
F Framing Adj.	N Disposal				(AY) TOTAL		
G Asphalt Shggs	O Dishwasher				(AZ) TOTAL		
H Wood Shk/Slggs	P R. L. S. Fixture Bath				(A1) TOTAL		
I Conc. Bar Tile	Q Separate Stack				(A2) TOTAL		
J Spanish Tile	R Sliding Tub Encl.				(A3) TOTAL		
				(Z) OTHER ITEMS	APPLIANCES B MECHANICAL 1851		
				A Fireplace	DOLLAR ADJUSTMENTS		
				B Yard Improvements	N. Sh./Moss Rock		
				C	Framing Adj.		
				D	Roofing		
				E	Concrete Slab		
				F			
				G			
				H			
				I			
				J			
				K			
				L			
				M			
				N			
				O			
				P			
				Q			
				R			
				S			
				T			
				U			
				V			
				W			
				X			
				Y			
				Z			
				TOTAL OTHER ITEMS			
				REMARKS			

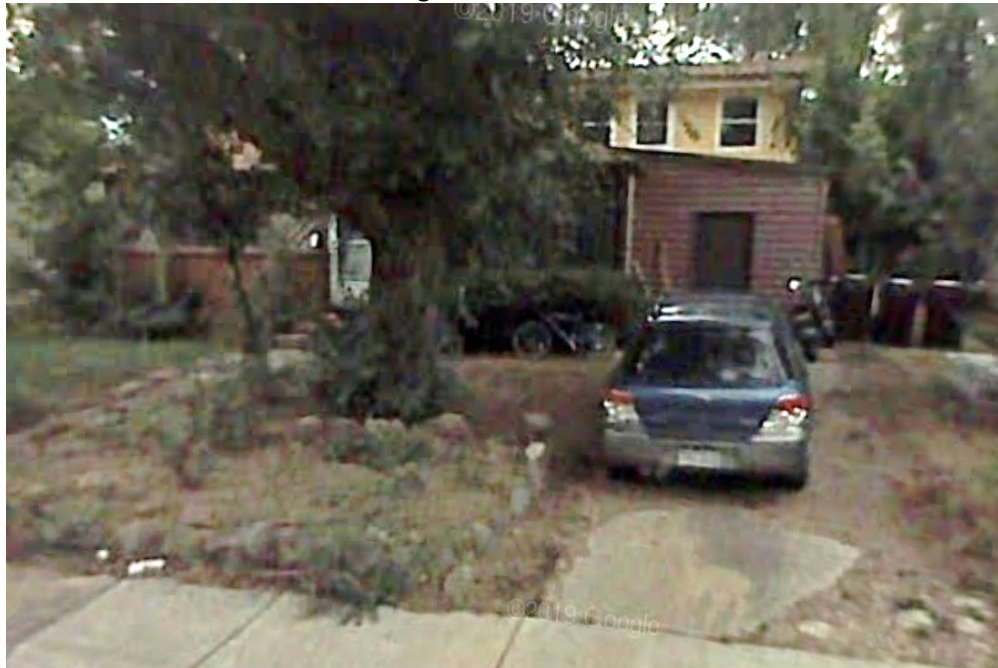


**Variance Requirement 3 – The garage or carport was converted to living space prior to January 1, 2005.**

The timeframe for the conversion of the garage space to interior enclosed space is not known. We have looked through the property information available with both the City of Boulder and Boulder County. We have found no permit records that indicate when this may have been completed. We suspect that the garage was converted to a storage space without the benefit of a Building Permit.

We've researched the aerial photos back in time through 2008. During all of the overflights, the images recorded for this site include a vehicle parked in the driveway in front of the garage.

We have researched Google images, which extends back to August of 2008. At that time, there was no garage in this location – a single swing door had already been installed at this time as can be seen in the image below:



We were fortunate to obtain several records of transfer from the Boulder County assessor. The image below of a document dated 02/23/2001 shows no garage included onsite. Thus we conclude that the garage had been removed prior to this document being issued on February 23 of 2001, without the benefit of a building permit:



*publ Card*  
*Need Addition*  
*no permit*  
*5-15-70*

211050 RES SOLD 02/23/01 14:53  
Area: 1 SA:10 Pr: \$225,000  
Range Pr:

Ad: 2715 ELM ST  
Lgl: LOT 12 BLOCK 4  
Subd: HIGHLAND PARK Cnty: BOULDER  
Map: B Page: 18 Section: G

TaxIDx(B)/Parclx(L)/PINx(W): 0001891  
Locale: BOULDER Zip Code: 80303-3331  
Taxes: 1,173/98 IR:  
LoanBal: \$0 Pymnt:  
CashAssume: 220,500 LnTrm/Yrs:

Water: BOULDER Elec: PSC Gas: PSC  
Middle : BASELINE Assoc Fee: 0 /  
Sch Dist: BLDR VALLEY DIST RE2 Assoc Xfer: N Reserve: N

Elem: MARTIN PAR  
SrHi: FAIRVIEW

Total SqFt: 1777 TotFinInclBsmt: 1777 FinExclBsmt: 1777 BsmtSqFt:  
LowerLevel: 204 Main Level: 1388 Upper Level: 388 Addl Upper: 0  
STR: 051S70 Water Meter: Y Water Rights: N Waterfront: N  
Zoning: RES Approx. Lot Size: Approx. Acr:  
Well Permit No: Garage #: 0 Garage Type: N Landsize: <.25 Acre  
Year Built: 1952 New: N Builder: Est Comp Dt:

Baths	B	L	M	U	Adl	Tot	Rooms:	L	F	L	F	L	F
Full	0	0	1	0	0	1	LR: 19 X 11 M W	DR: 12 X 12 M C	Kt: 11 X 08 M V				
3/4	0	0	0	1	0	1	GR: 00 X 00	FR: 19 X 18 M O	RR: 00 X 00				
1/2	0	0	0	0	0	0	Lu: 05 X 04 M V	MB: 14 X 09 U C	2B: X				
							3B: X	4B: X	5B: X				
Total	0	0	1	1	0	2	SO: 11 X 07 U C	To BR: 2	All Beds Conform: Y	RI:			

MSTR BDRM WAS REMODELED CREATING A 13.6X9 & 11.67X9.3 ROOM. IF 3 OR 4 BDRMS NEEDED COULD EASILY BE DONE. ADDITION BUILT IN '87 CREATES 2ND MSTR SUITE. NEW ROOF IN '96. NEW VINYL SIDING IN 94. WATER FEATURE IN PRIVATE BACKYARD. MATURE TREES. OPEN & SPACIOUS ROOMS. 19X10 UNFIN STORAGE PLEASE PICK UP LEAD BASE PAINT, SELLER'S PROPERTY DISCLOSURES & CLOSING INSTRUCTIONS AT HOUSE. *former garage*

**Variance Requirement 4 – The current property owner was not responsible for the conversion of the parking space to living area and can provide evidence as such.**

The current homeowners purchased the home in 2023 with this garage conversion already having taken place and are not responsible for converting the garage to storage. That being considered, the current homeowner had chosen to go forward with a conversion of the existing storage space to interior finished bedroom space. That project is underway at this time, and currently has a hold tag / stop work order, issued 6/04/2024 (ENF2024 – 00453).

**Variance Requirement 5 – A parking space in compliance with the parking regulations of section 9-6-6 cannot reasonably be provided anywhere on the site due to the location of existing buildings, lack of alley access, or other unusual physical conditions.**

Please consider the included ILC, the front yard setback distance.

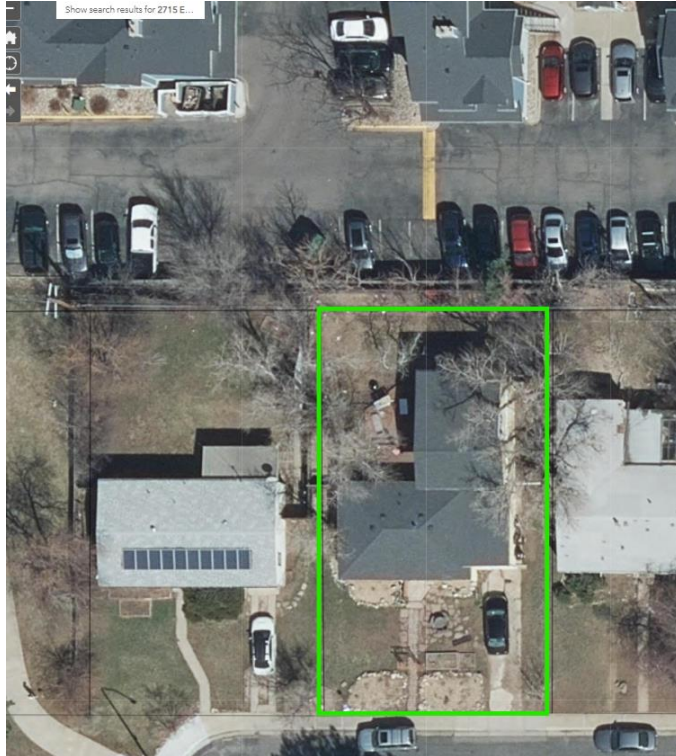
At 29.9' and 32.7' distant from the front yard property line, the home is positioned too close to the front property line to allow for a compliant 9' wide x 19' deep parking space parking space to be positioned south of the home between the house and the south property setback line (25' from the property line).

Please consider the included ILC, the side yard setback distances

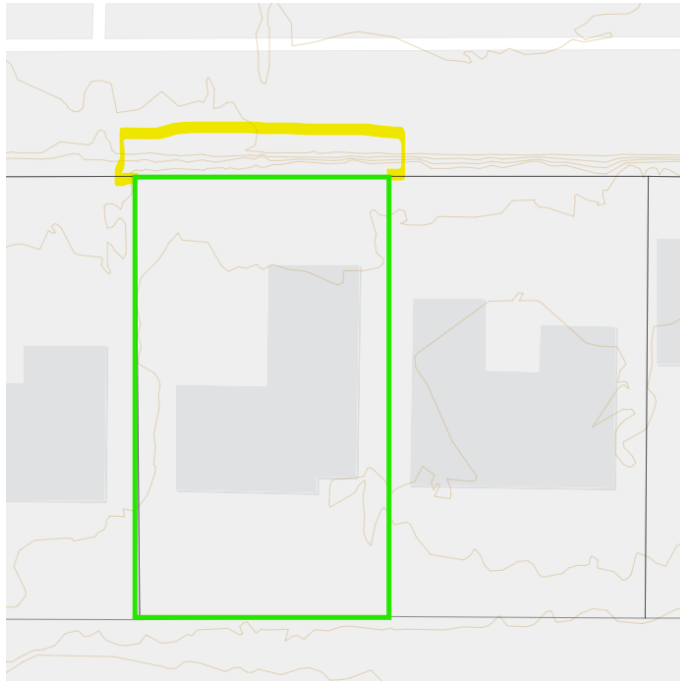


At 7.7' east or 8.8' west distant from the side yard property lines, the home is positioned too close to the side property lines to allow for a compliant 9' wide parking space parking space to be positioned between the house and the side property lines.

Please consider the aerial image below showing the subject parcel outlined in green, and the parking for the apartment building development north of the subject property. There is no alley access to this home, and the development north of the site is positioned immediately adjacent to this site.



Please consider the aerial image below showing the subject parcel outlined in green, and the highlighted topographic lines between the parking for the apartment building development and the subject parcel. The parking lot appears to be approximately 4' in elevation below the subject parcel.



**Variance Requirement 6 – Restoring the original garage or carport to a parking space would result in significant economic hardship when comparing the cost of restoration to the cost of other proposed improvements on the site.**

Returning the existing enclosed storage room to a garage is economically infeasible. This is a small, 2 bedroom home for a young and growing family. The family needs space to accommodate the current and future children with acceptable sleeping and living space. To return the storage room to a garage would include some demolition of long-existing construction, and then the construction of a new bedroom and living space elsewhere on the site. Simply considering the current plan, a bedroom could be sized approximately 212 SF. The following is the general cost estimate, using City of Boulder standard valuation and other means of estimation:

Garage conversion	\$ 5,300
Build new bedroom	\$ 35,400
Engineering and permits	\$ 15,000
<b>Total</b>	<b>\$ 55,700</b>

This would provide a garage and a bedroom for the homeowner's expanding family, whereas the simple conversion of the existing storage room to a bedroom space be as follows:

Garage conversion	\$ 5,300
Build new bedroom	\$ 0
Engineering and permits	\$ 5,000
<b>Total</b>	<b>\$ 10,300</b>



The conversion of the storage space to a bedroom space is 82% more cost effective than building anew and is within the homeowner's budget.

**Variance Requirement 7 – The proposed parking space t be located within the front yard setback space shall be paved, shall comply with section 9-9-5 “Site Access Control”, shall not be less than 9’ in width or more than 16’ in width, and shall not be less than 19’ in length. No parking space shall encroach into the public right of way or obstruct a public sidewalk.**

The proposed parking space is situated on the existing driveway which is paved.

Section 9-9-5 (c)

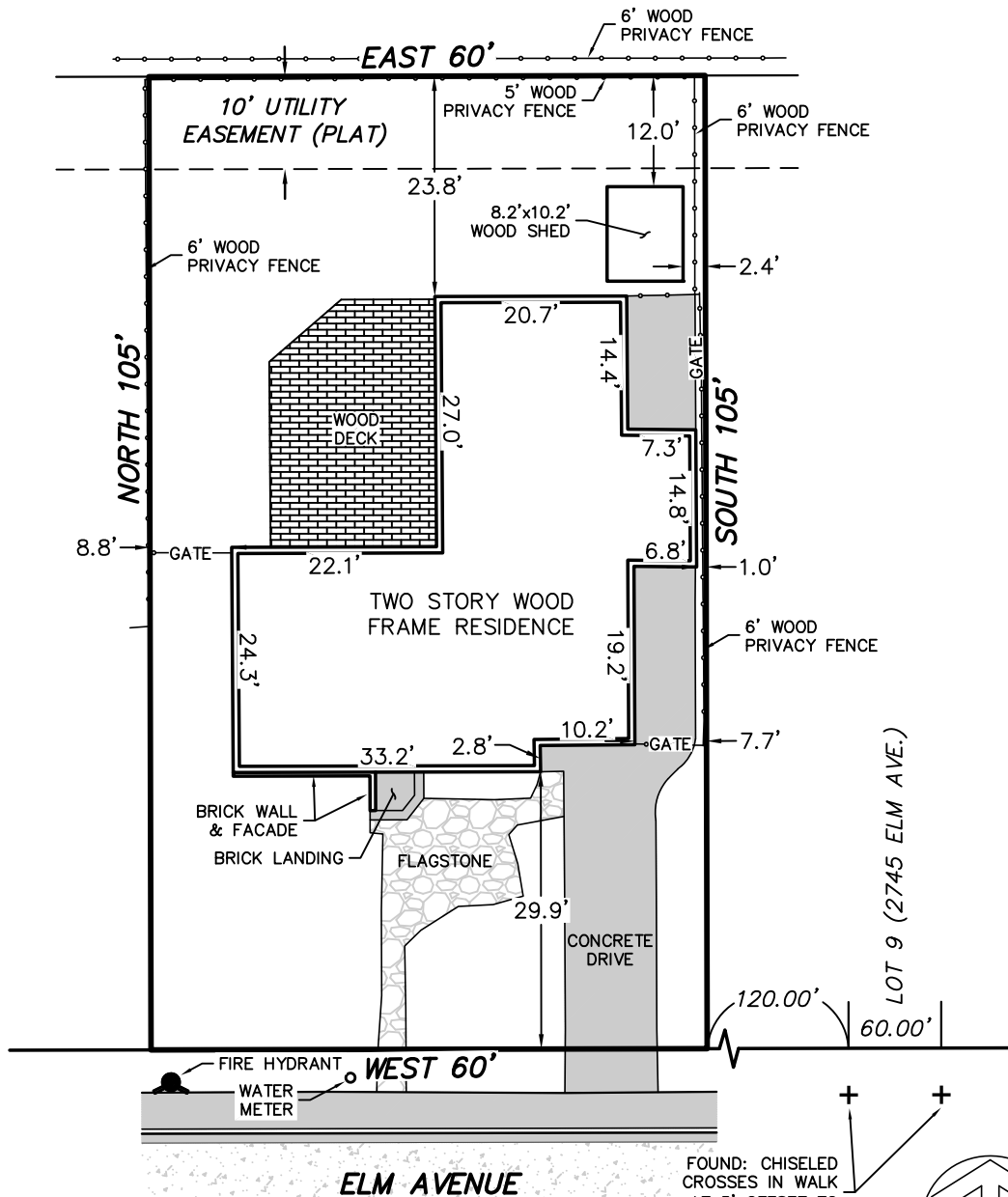
- 1) Only one property access point is existing and only 1 is proposed
- 2) N/A – Elm Ave is a local street
- 3) N/A – Elm Ave is a local street
- 4) Only one frontage is available to this site – there is no alley, it is surrounded by developed parcels.
- 5) There is one existing and appropriate site access point
- 6) N/A only one access point is existing or proposed
- 7) N/A – a shared driveway not required – the lot fronts onto Elm Ave.
- 8) The existing driveway is 10’ wide

The existing driveway is nearly 10’ wide and uniform in width from the house to the road, which falls between the minimum and maximum widths of 9’ – 16’.

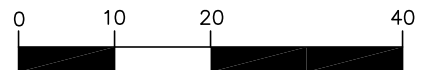
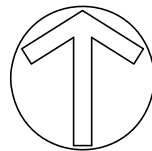
The distance from the face of the home to the property line is roughly 32’-8”, which will accommodate the proposed parking space that is 19’ in length.

This defined parking area will not encroach upon the street ROW or the attached sidewalk which are both greater than 32’ – 8” from the face of the house (please refer to the ILC). As shown by the included site plan, and by the partial site plan on page 3 of this narrative, the parking is situated well, out of the ROW, and the projection of the parking into the required front yard setback is minimized to approximately 11’-4”.

# IMPROVEMENT LOCATION CERTIFICATE



FOUND: CHISELED  
CROSSES IN WALK  
AT 5' OFFSET TO  
LOT 9 CORNERS

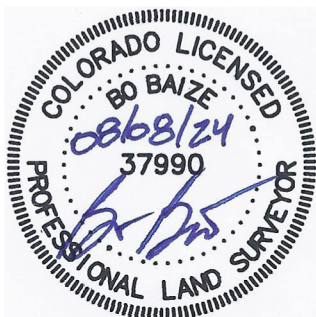


1 inch = 20 ft.

**LEGAL DESCRIPTION:**

LOT 12, BLOCK 4  
HIGHLAND PARK,  
CITY OF BOULDER,  
COUNTY OF BOULDER,  
STATE OF COLORADO

FIELD DATE: 08/05/24  
CLIENT: KYLE LUH & FLORENCIA OROSZ



**NOTES:**

1. BEARINGS BASED ON HIGHLAND PARK SUBDIVISION PLAT.
2. DIMENSIONS ARE PERPENDICULAR TO PROPERTY LINES FROM BUILDING CORNERS.

**IMPROVEMENT LOCATION CERTIFICATE:**

For and on behalf of Hurst & Associates, Inc., I hereby certify that this Foundation Location Certificate was prepared for the above named client, THAT IT IS NOT A LAND SURVEY PLAT or IMPROVEMENT LOCATION CERTIFICATE, and that it is not to be relied upon for the establishment of fence, building, or future improvement lines. This certificate is valid only for use by the above named client and describes the parcel's appearance on the above field date. I further certify that the improvements on the above described parcel on the above noted date, except utility connections, are entirely within the boundaries of the parcel, except as shown, that there are no encroachments upon the described premises by improvements on any adjoining premises, except as indicated, and that there is no APPARENT evidence or sign of any easement crossing or burdening any part of said parcel, except as noted.

**NOTE:**

THIS ILC WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT. EASEMENT INFORMATION BASED ON SUBDIVISION PLAT.

**NOTICE:**

ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED ON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

**2715 ELM AVENUE  
BOULDER, COLORADO**

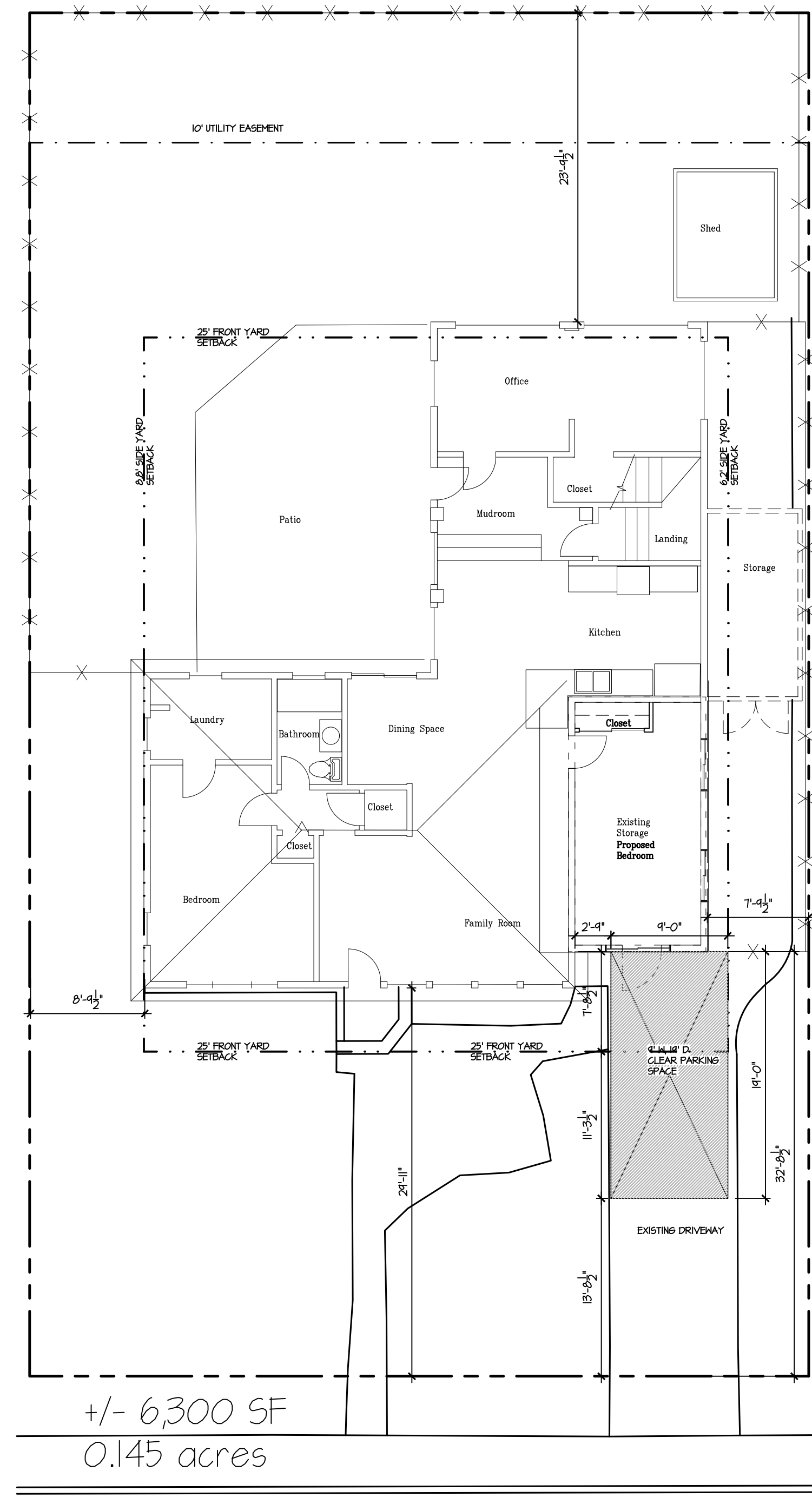
**HURST**  
CIVIL ENGINEERING  
LANDSCAPE ARCHITECTURE  
LAND PLANNING  
SURVEYING

1265 S Public Road, Suite B  
Lafayette, CO 80026  
303.449.9105  
www.hurst.design

SCALE	HOR. 1"=20'
	VERT. N/A
DESIGN/APPR.	
DRAWN BY	BO
DATE	08/08/24
SHEET	1 OF 1

FILE: G:\27001\2715 ELM AVE ILC





1 Existing Site with Main Floor Plan  
1/8" = 1'-0"

## Planning Information

**PROJECT ADDRESS:** LUH RESIDENCE  
2715 ELM AVENUE  
BOULDER, CO 80305

**LEGAL DESCRIPTION:** LOT 12, BLOCK 4  
HIGHLAND PARK SUBDIVISION

**ZONING CLASSIFICATION:** RL-1

**LOT AREA:** LOT AREA: 6,300 SQ. FT. / 0.14 ACRES  
ZONE LOT MINIMUM SIZE = 7,000 SF

**MAXIMUM HEIGHT**

MAXIMUM ALLOWABLE	PROVIDED
33'-0" ABOVE LOW PT. *	22'-6" +/- (NO CHANGE TO HEIGHT)

\* NON-STANDARD LOT SIZE

**PROPERTY LINE SETBACKS**

	REQUIRED	PROVIDED	NOTES BELOW
NORTH (REAR)	25'-0"	23'-4 1/2"	1
SOUTH (FRONT)	25'-0"	24'-11"	3
WEST (SIDE)	8'-4"	8'-4 1/2"	
EAST (SIDE)	6'-3"	7'-4 1/2"	2

- EXISTING SETBACK IS LESS THAN CODE MINIMUM - NO CHANGES PROPOSED TO BUILDING AFFECTING SETBACK.
- EXISTING NON-CONFORMING STORAGE CLOSET TO BE REMOVED, thus RESULTING SETBACK EXCEEDS MINIMUM.
- BUILDING SETBACK IS 32'-8" WHERE PARKING SPACE IS POSITIONED IN FRONT OF ORIGINAL GARAGE.

**FLOOR AREA (GROSS = OUTSIDE FACE OF STRUCTURE)**

	EXISTING		DEMO		NEW		TOTAL	NOTES
	UNFIN.	FIN.	UNFIN.	FINISHED	FINISHED			
FIRST FLOOR	303 SF	1,405 SF	303 SF	195 SF	0 SF	507 SF	1,600 SF	1, 2
SECOND FLOOR	0 SF	507 SF	0 SF	0 SF	0 SF	507 SF	2,107 SF	1, 2
SUBTOTAL	303 SF	1,912 SF	303 SF	195 SF	0 SF	1,014 SF	2,914 SF	
DETACHED SHED	80 SF	0 SF	0 SF	0 SF	0 SF	80 SF	80 SF	

- 195 SF UNFINISHED SPACE TO BE CONVERTED TO FINISHED SPACE.
- 108 SF ATTACHED STORAGE ADDITION CONSTRUCTED ON EAST SIDE OF HOUSE TO BE REMOVED.

**FLOOR AREA FOR DETERMINATION OF ALLOWABLE FAR**

MAXIMUM FLOOR AREA ALLOWED - 3,360 SF  
FLOOR AREA PROPOSED (ALL EXISTING) - 2,107 SF

**MAXIMUM BUILDING COVERAGE**

MAXIMUM COVERAGE ALLOWED - 2,310 SF  
COVERAGE PROPOSED (ALL EXISTING) - 1,600 SF

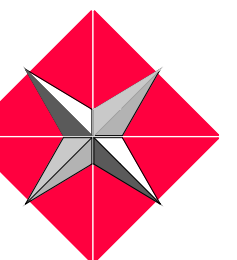
**SOLAR ACCESS = AREA 1 (12' SOLAR FENCE)**

## Project Scope Narrative - Variance Application

- LEVEL 2 ALTERATION TO AN EXISTING HOME WAS INITIALLY CONSTRUCTED IN 1952.
- LIKE THE ADJACENT RESIDENCES ON THE EAST AND WEST, THE HOME SEEMS TO HAVE BEEN ORIGINALLY CONSTRUCTED WITH A SINGLE CAR GARAGE ON THE SOUTHWEST CORNER OF THE HOME.
- THERE EXISTS AN EXISTING CONCRETE DRIVEWAY WHICH LEADS TO THE FACE OF THE HOUSE ON THE SOUTHWEST CORNER.
- THE ORIGINAL GARAGE WAS CONVERTED TO INTERNALLY-ACCESSED STORAGE SPACE WITHOUT THE BENEFIT OF A BUILDING PERMIT BEING ISSUED AT SOME TIME IN THE PAST. BECAUSE NO PERMIT WAS APPLIED FOR AND ISSUED, THE EXACT TIME FOR THIS CONVERSION IS UNKNOWN. BY INSPECTION OF THE MATERIALS OF CONSTRUCTION, IT IS THE ARCHITECT'S OPINION THAT THE INFILL OF THE ORIGINAL GARAGE DOOR OCCURED BEFORE JANUARY 2005.
- THE CURRENT HOMEOWNERS PURCHASED THE HOME WITH THIS CHANGE HAVING ALREADY COMPLETED AT SOME UNKNOWN TIME IN THE PAST. THIS IS SHOWN BY THE ASSESSOR IMAGES, ON WHICH ONE CAN SEE THAT THERE IS A STANDARD 3" WIDE BY 6'8" TALL SPRING DOOR.
- THE CURRENT HOMEOWNERS HAVE DETERMINED THE NEED TO CHANGE THE EXISTING NON-CONFORMING STORAGE ROOM TO FINISHED INTERIOR SPACE.
- TO CREATE THIS CONVERSION TO FINISHED SPACE, THE HOMEOWNER
  - CONSTRUCTED A NEW INSULATED FLOOR.
  - INSULATED THE EXTERIOR WALL AND THE ROOF.
  - INSTALLED INTERIOR DRYWALL ON THE WALLS AND CEILING.
  - REMOVED THE EXTERIOR DOOR.
  - INSTALLED THREE WINDOWS.
- SIMULTANEOUSLY WITH THIS INTERIOR SPACE CONVERSION, THE HOMEOWNER CONSTRUCTED A NON-CONFORMING ATTACHED STORAGE BUILDING NORTH OF THIS SPACE, ACCESSED FROM THE EXTERIOR. THIS ADDITION EXTENDS INTO THE EAST SIDE YARD SETBACK BY 5' (6' SETBACK WHERE 6'-2" IS REQUIRED). THIS STORAGE ROOM IS PROPOSED TO BE REMOVED, WITH THE CHANGES TO THE EXTERIOR REPAIRED TO MATCH THE ORIGINAL EXTERIOR APPEARANCE.
- THE EXISTING 9' WIDE X 14' DEEP OFF-STREET PARKING SPACE IS INCORPORATED ONTO THE SITE ON THE EXISTING CONCRETE DRIVEWAY. THIS EXISTING OFF-STREET PARKING SPACE EXTENDS 11'-3 1/2" INTO THE REQUIRED FRONT YARD SETBACK. THE SETBACK AT THE PARKING SPACE WILL BE 13'-8 1/2" WHERE 25'-0" IS REQUIRED.
- AN OFFSTREET PARKING EXCEPTION TO ALLOW PARKING IN THE REQUIRED FRONT YARD LANDSCAPED SETBACK IS PROPOSED FOR THIS SITE. THE EXISTING PARKING SPACE IS NOT PROPOSED TO CHANGE, AND IS CONSIDERED AN EXISTING NON-CONFORMING USE, IS EXISTING TO REMAIN UNCHANGED. THE CHANGES PROPOSED ARE TO CONVERT THE EXISTING STORAGE SHED TO FINISHED INTERIOR SPACE.
- DUE TO EXISTING CONSTRUCTION AND THE RELATIONSHIP BETWEEN THE EXISTING HOME AND THE ADJACENT PROPERTY LINES, IT WOULD NOT BE POSSIBLE TO POSITION THE PARKING AREA OUTSIDE OF THE FRONT YARD SETBACK.
- RESTORATION OF THE ORIGINAL GARAGE IN THE ORIGINAL POSITION WOULD RESULT IN A SIGNIFICANT ECONOMIC HARDSHIP FOR THE CURRENT OWNER.
- THE PROPOSED PARKING SPACE IS PAVED AND NO CHANGES ARE PROPOSED FOR THAT SPACE.

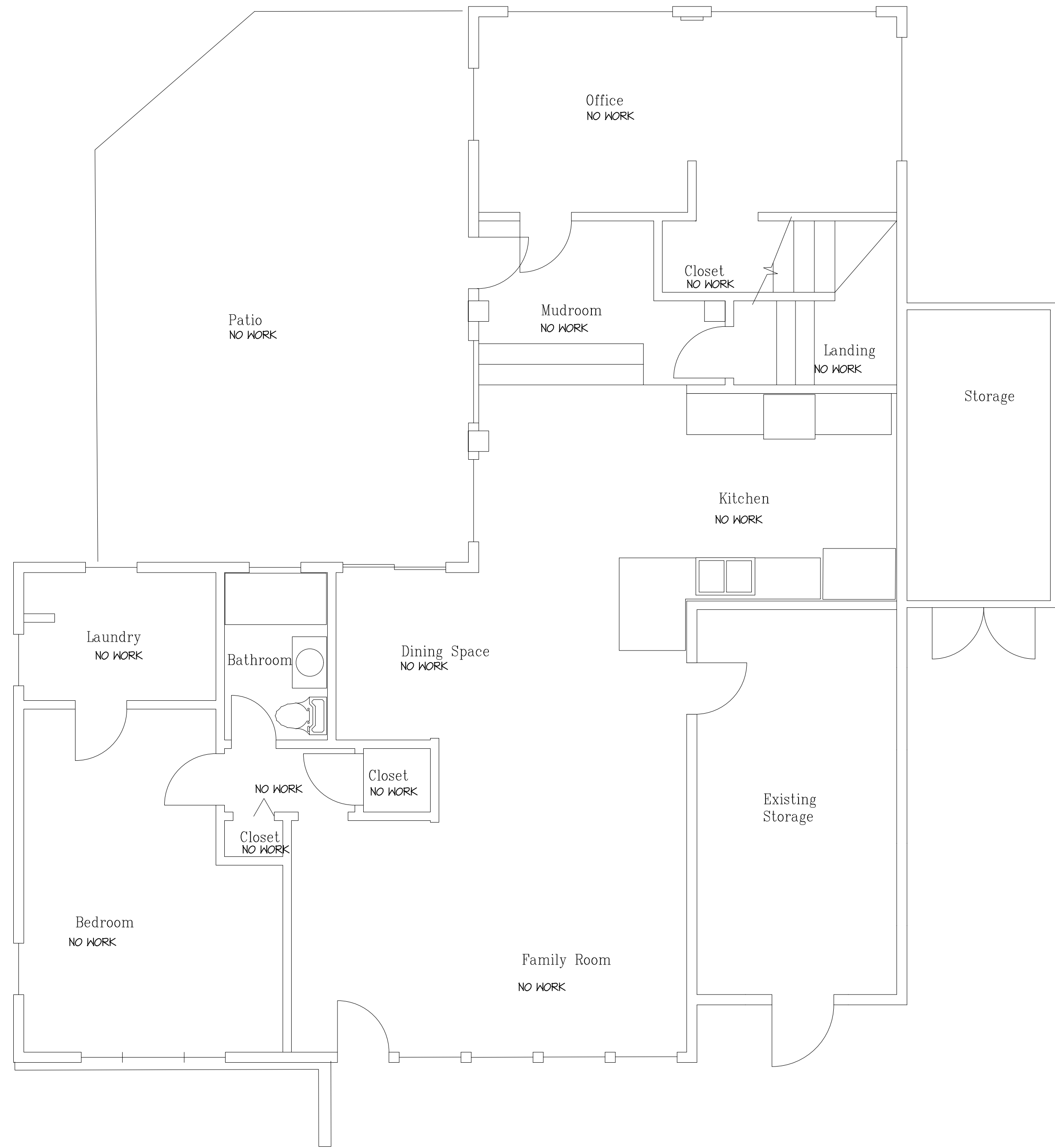
## Building Codes

**REGULATORY CODES**  
Currently adopted City of Boulder Revised Code, 1981  
2018 International Building Code  
2018 International Plumbing Code  
2018 International Fire Code  
2018 International Fuel Gas Code  
2018 International Residential Code  
2022 City of Boulder Energy Conservation Plan  
2018 International Mechanical Code  
2018 International Energy Conservation Code.  
2023 National Electric Code (NEC)

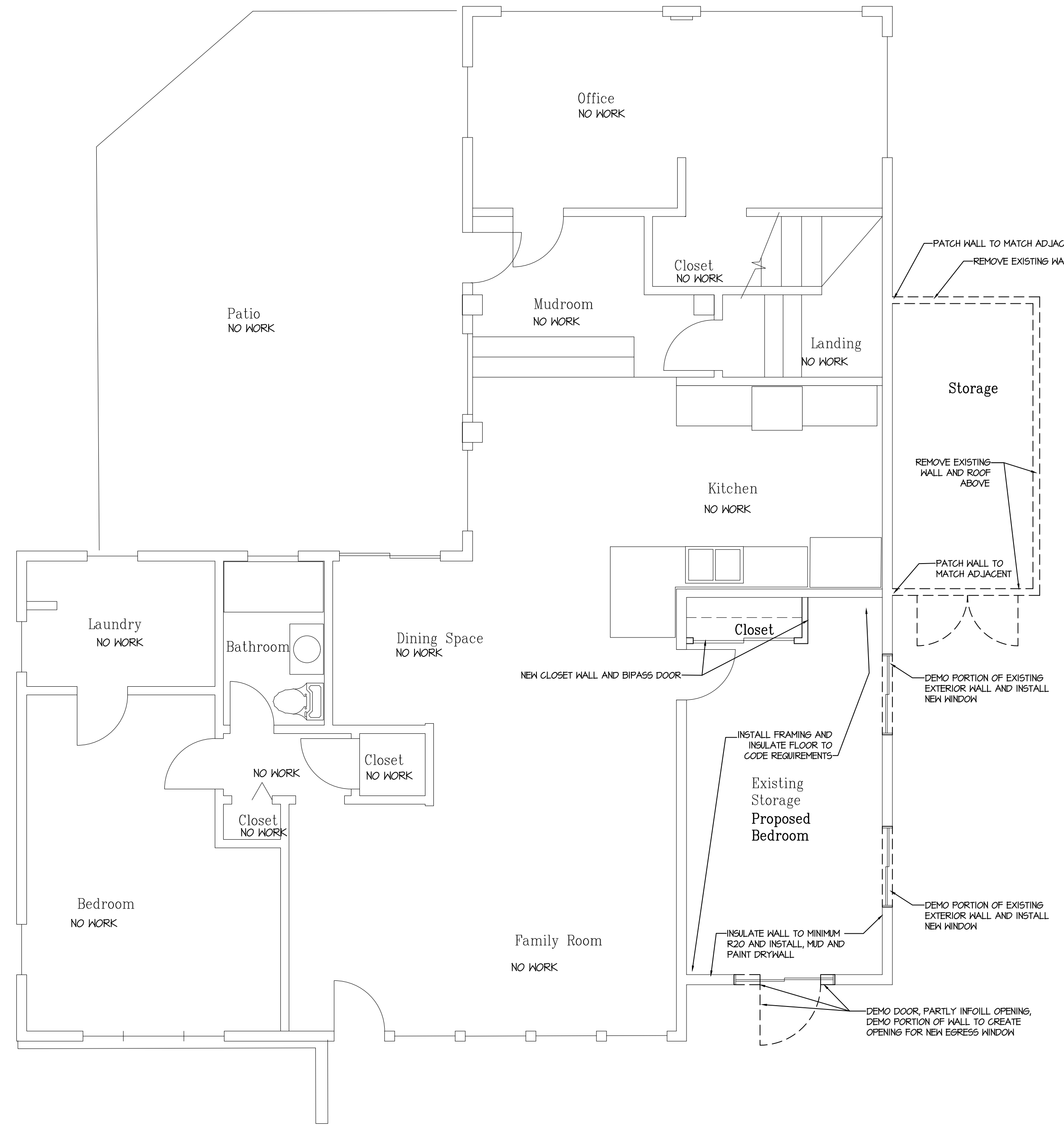


Clearwater Design Studio  
2975 Valmont Road, Suite 100  
Boulder, Colorado 80301  
© 2015-2022  
P 303-954-1443  
M 303-954-1443  
M 303-954-1443

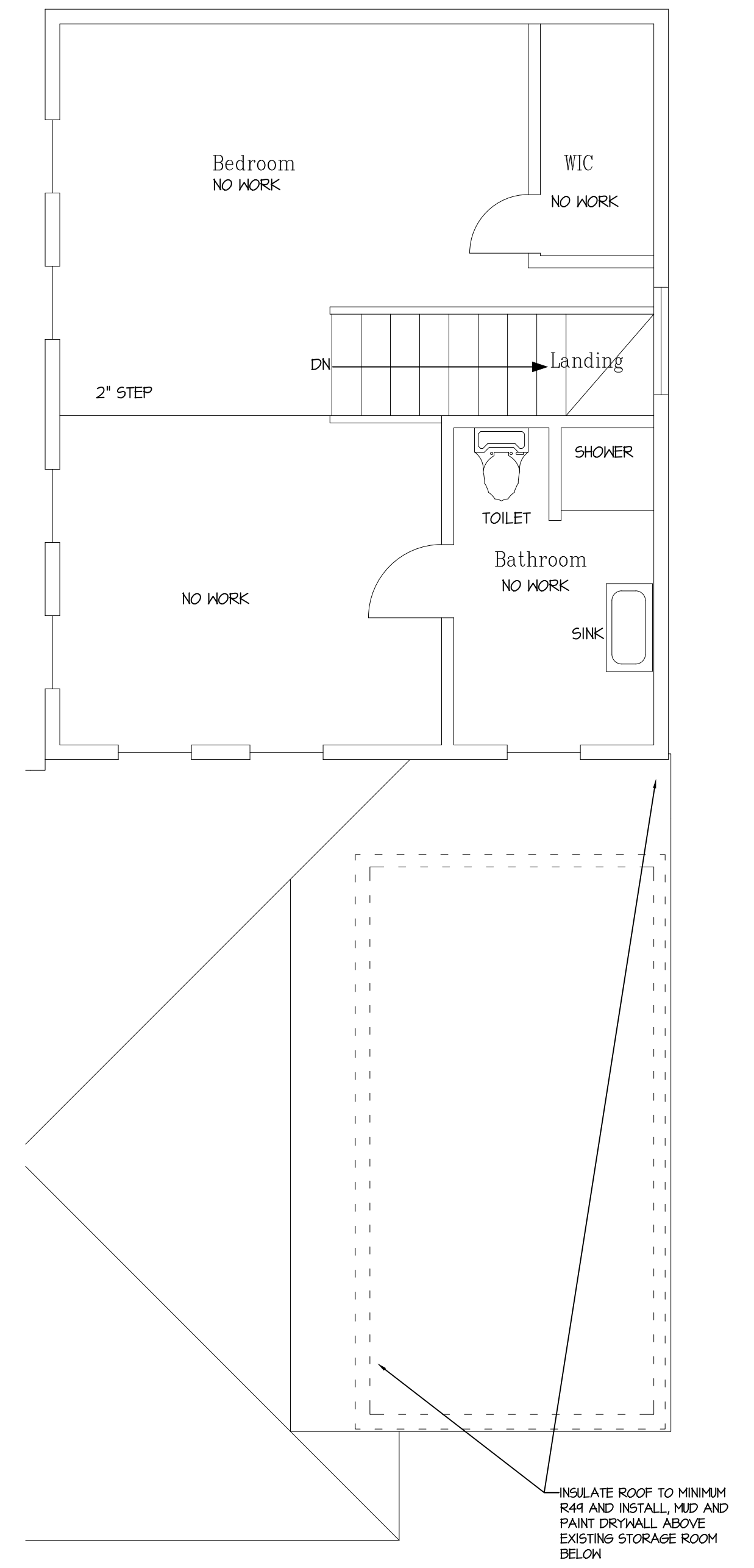
Sheet Content  
SITE PLAN & ZONING INFO,  
GENERAL NOTES, SHEET INDEX  
Issue Date  
08/24/2024



**1** Existing Main Floor Plan  
1/4" = 1'-0"

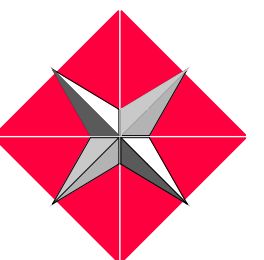


**2** Proposed Main Floor Plan  
1/4" = 1'-0"



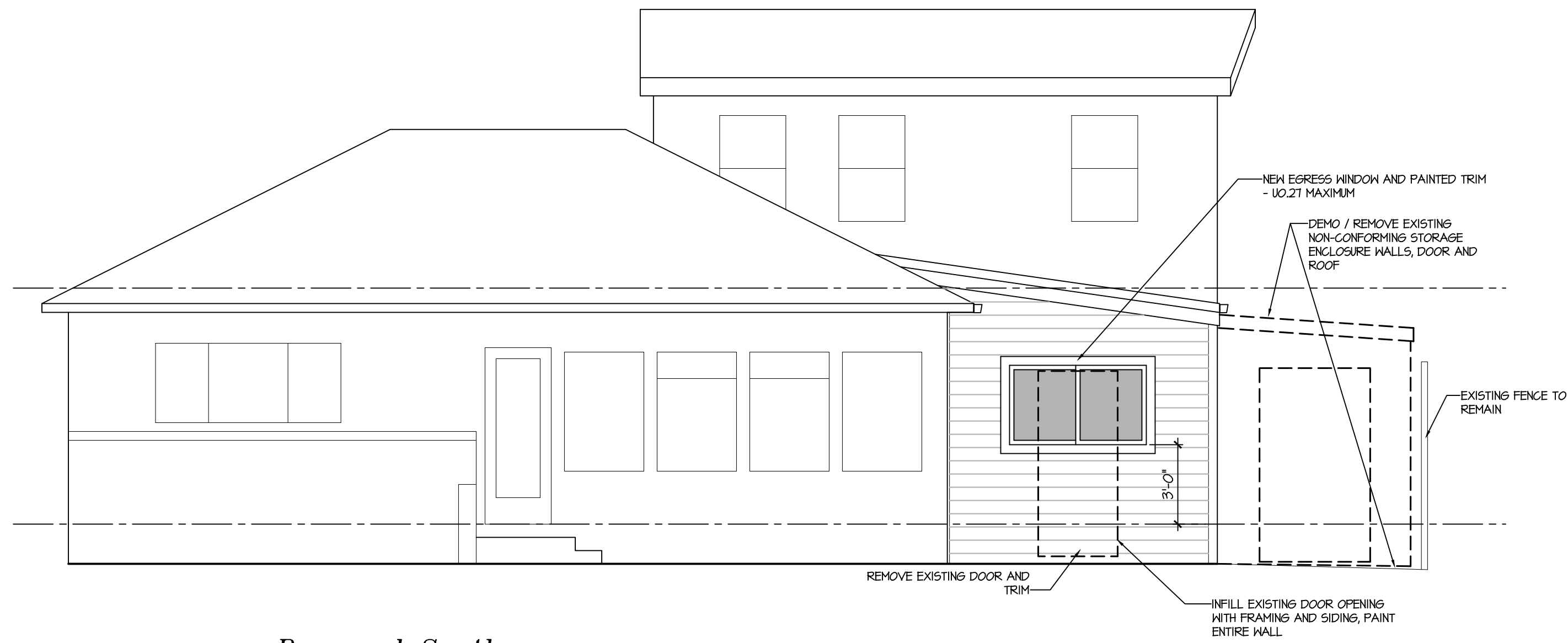
**3** Second Floor and Partial Lower Roof Plan  
1/4" = 1'-0"

**Luh Residence**  
2715 Elm Ave  
Interior remodeling and space conversion

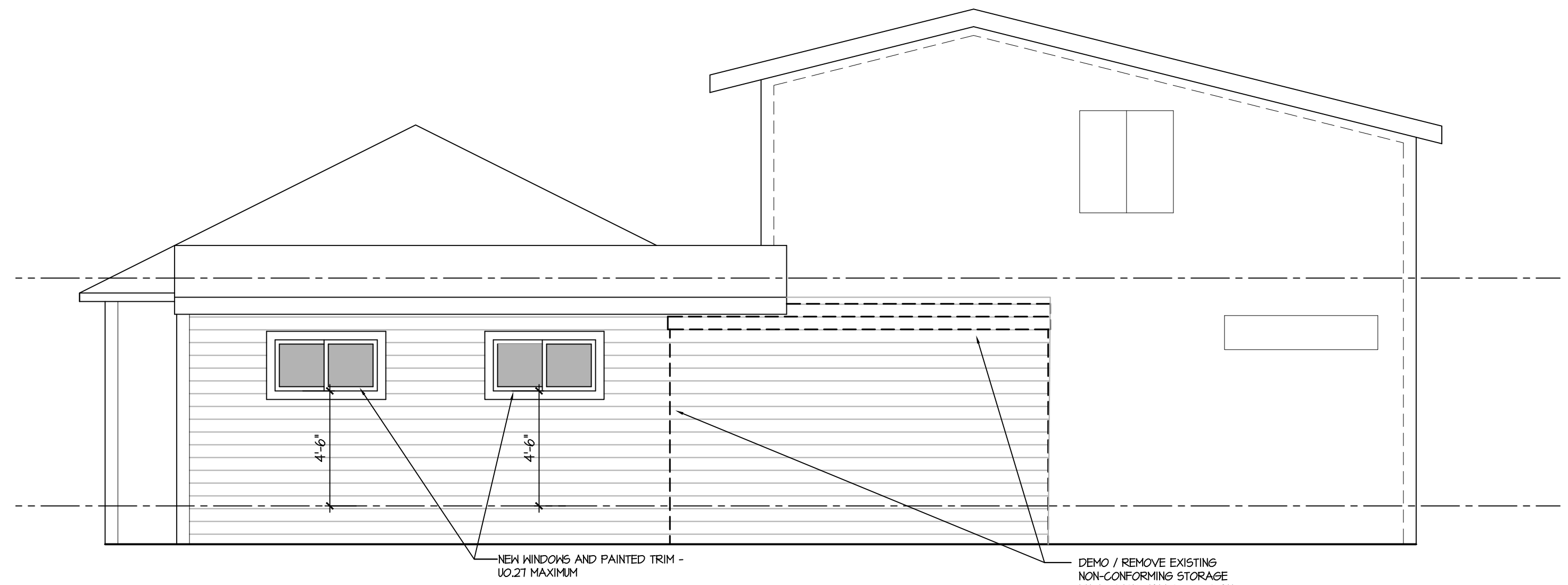


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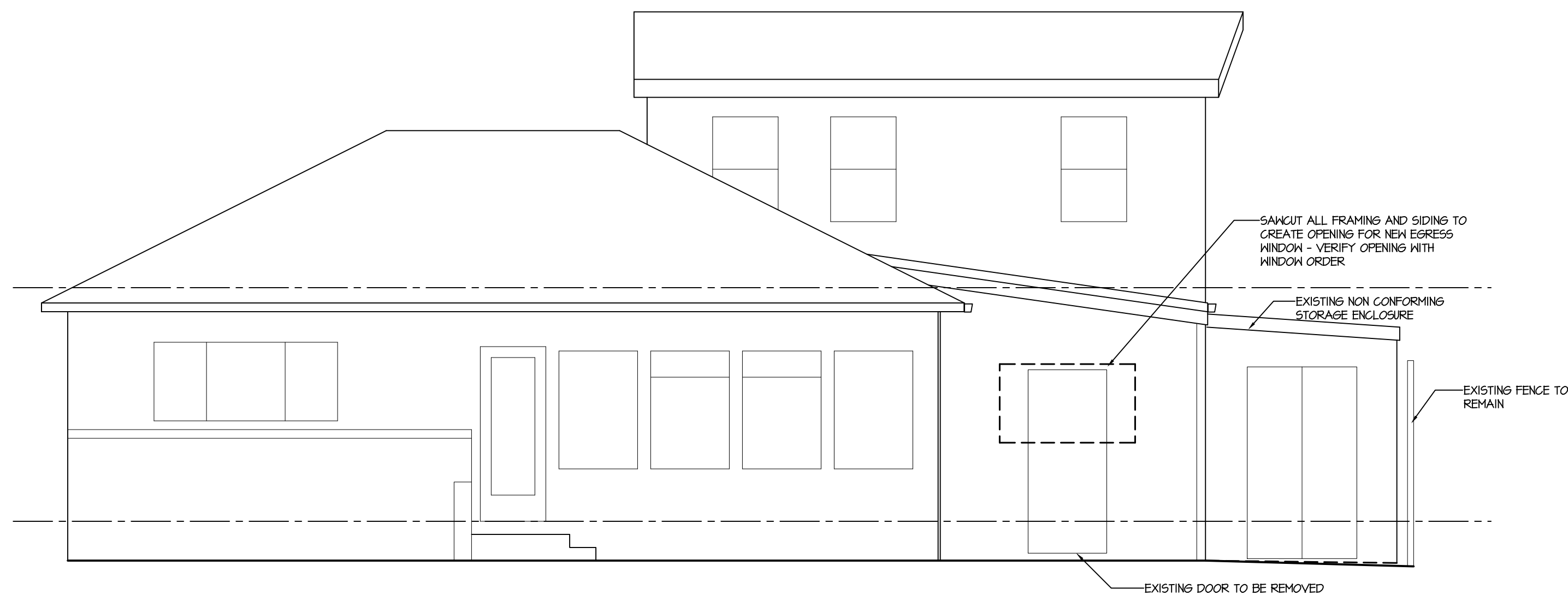
Sheet Content  
EXISTING AND PROPOSED FLOOR PLANS  
Issue Date  
08/24/2024



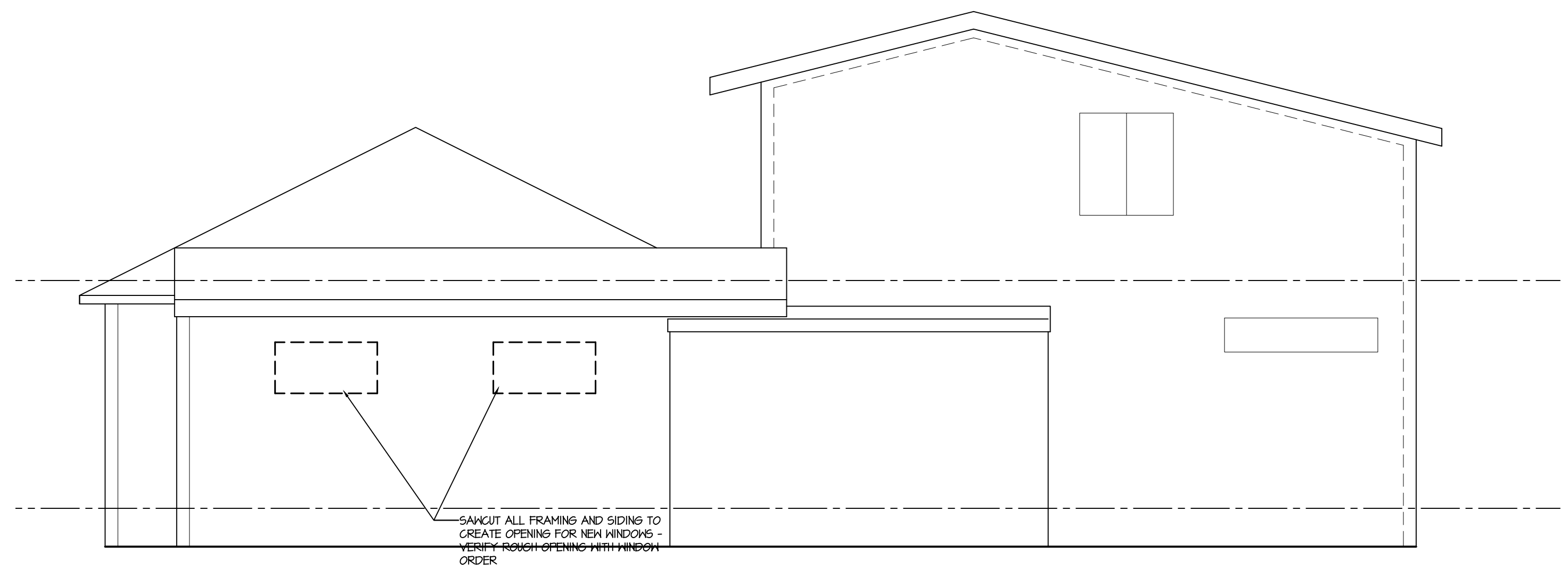
**1A** Proposed South Exterior Elevation  
1/4" = 1'-0"



**2A** Proposed East Exterior Elevation  
1/4" = 1'-0"

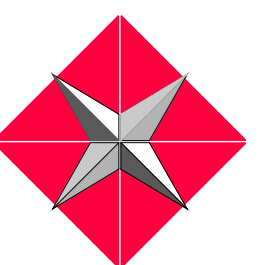


**1B** Existing South Exterior Elevation  
1/4" = 1'-0"



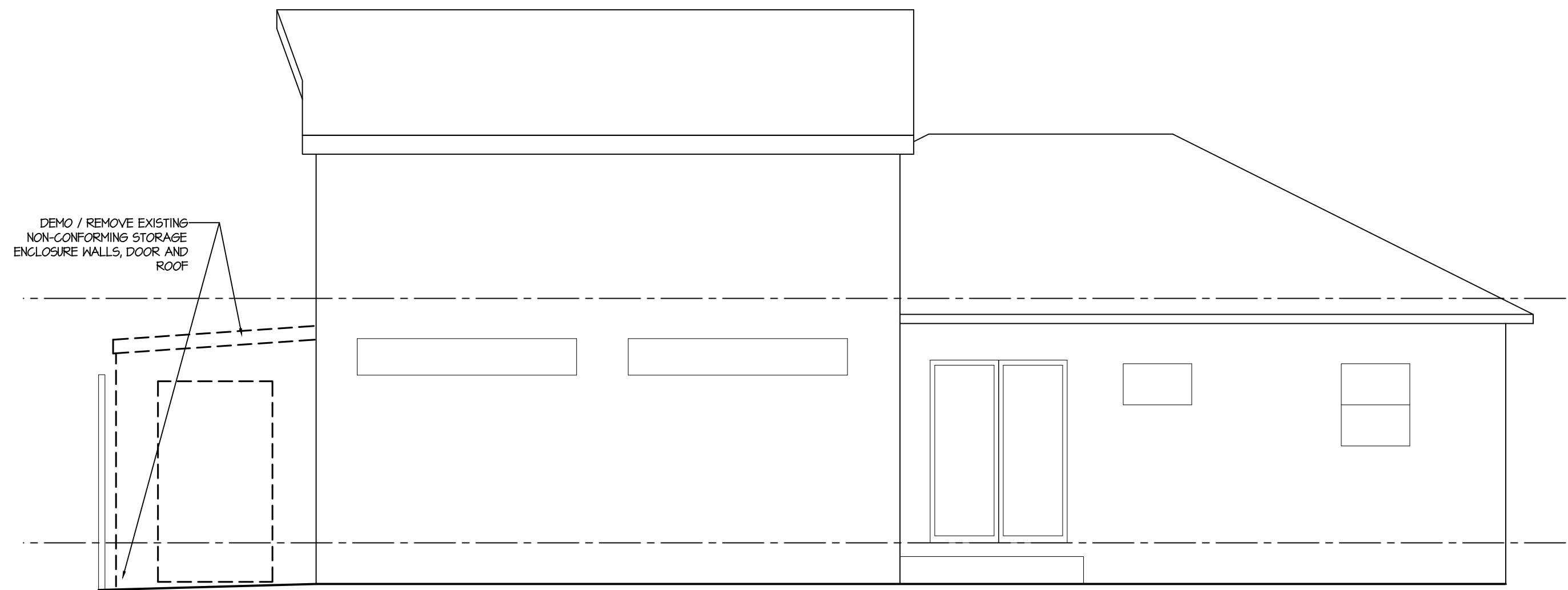
**2B** Existing East Exterior Elevation  
1/4" = 1'-0"

Luh Residence  
2715 Elm Ave  
Interior remodeling and space conversion

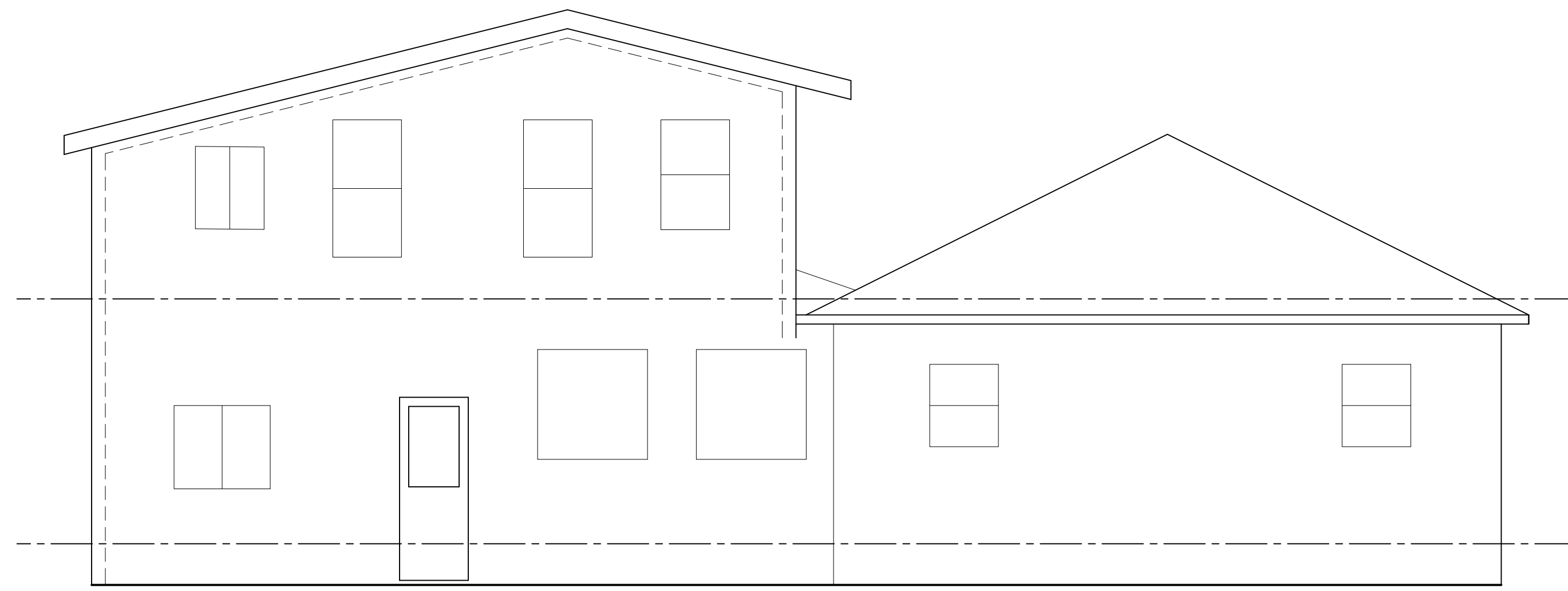


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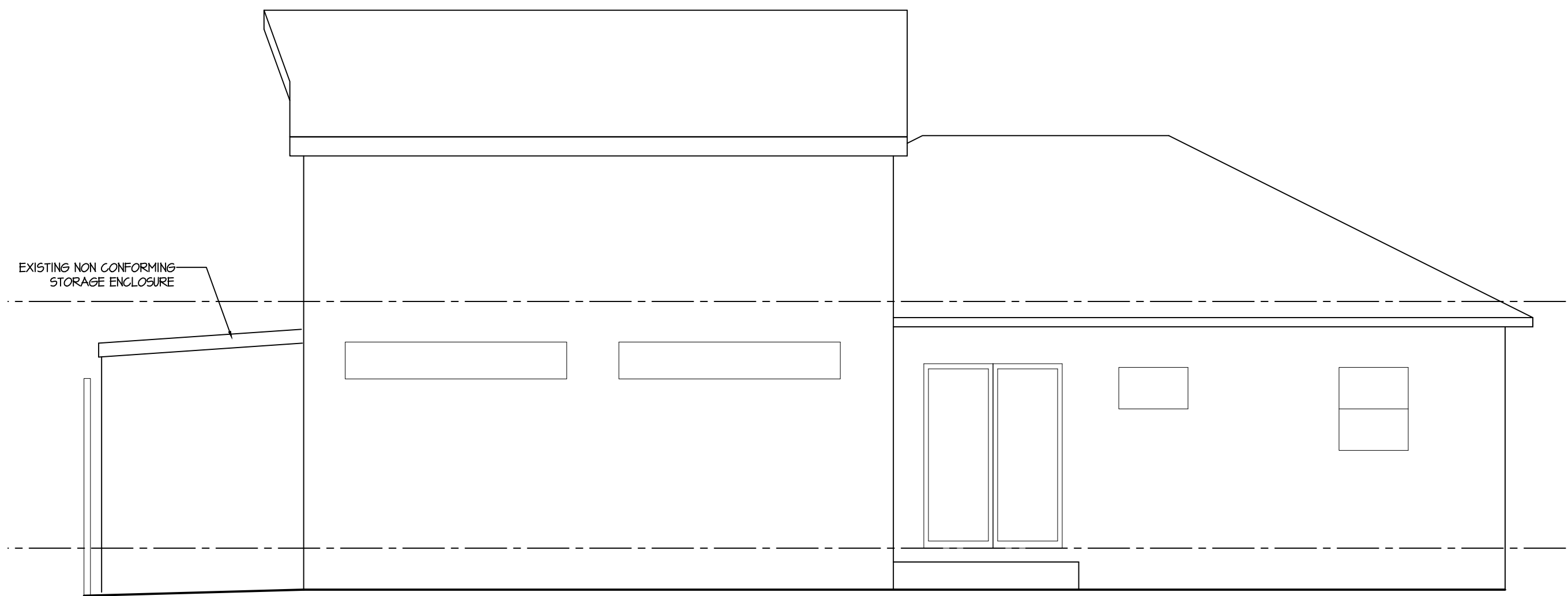
Sheet Content  
EXISTING AND PROPOSED  
EXTERIOR ELEVATIONS  
Issue Date  
08/24/2024



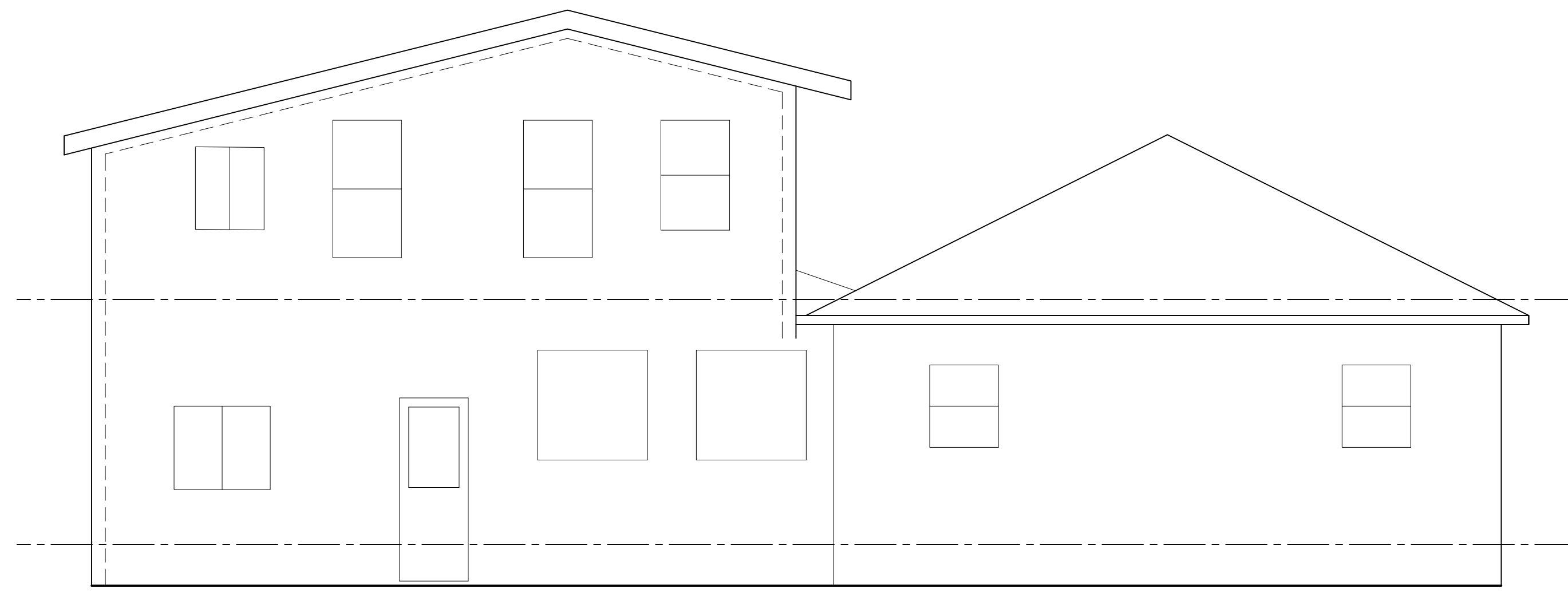
**3A** Proposed North  
Exterior Elevation  
1/4" = 1'-0"



**4A** Proposed West  
Exterior Elevation  
1/4" = 1'-0"  
NO CHANGES TO THIS ELEVATION



**3B** Existing North  
Exterior Elevation  
1/4" = 1'-0"



**4B** Existing West  
Exterior Elevation  
1/4" = 1'-0"  
NO CHANGES TO THIS ELEVATION

**Luh Residence**  
2715 Elm Ave  
Interior remodeling and space conversion

# SKETCH/AREA TABLE ADDENDUM

S-T-R 05-1S-70

I.D.# 0001891

SUBJECT

PROP ADDRESS 2715 ELM AVENUE

CITY BOULDER

County BOULDER

STATE CO

ZIP

LEGAL LOT 12 BLOCK 4 HIGHLAND PARK

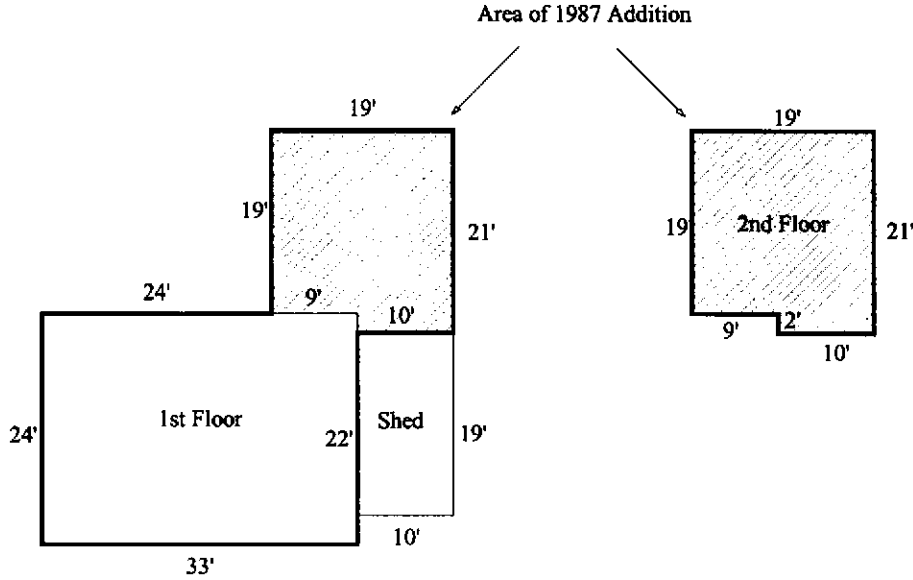
APPRAISER PATRICIA ROBERTS

DEPARTMENT RESIDENTIAL

OFFICE BOULDER COUNTY ASSESSOR

APPR ADDRESS P.O. BOX 471, BOULDER, CO 80306

IMPROVEMENTS SKETCH



Scale: 1 = 20

AREA CALCULATIONS

### AREA CALCULATIONS SUMMARY

Code	Description	Factor	Size	Perimeter	Totals
AREA_FIRST	First Floor	1.00	1173	172	1173
AREA_UPPER	Second Floor	1.00	381	80	381
SHED	Shed	1.00	190	58	190
<b>TOTAL LIVABLE (rounded)</b>					<b>1554</b>

### NOTES

REDRAWN USING ORIGINAL PRC

APPRAISER

PFR

DATE OF VISIT

10/28/02  
Date Drawn

*publ Card*  
*Need Addition*  
*no permit*  
*5-15-70*

211050 RES SOLD 02/23/01 14:53  
 Area: 1 SA:10 Pr: \$225,000

Range Pr:

Ad: 2715 ELM ST  
 Lgl: LOT 12 BLOCK 4  
 Subd: HIGHLAND PARK Cnty: BOULDER  
 MapBk: B Page: 18 Section: G

TaxIDx(B)/Parclx(L)/PINx(W): 0001891  
 Locale: BOULDER Zip Code: 80303-3331  
 Taxes: 1,173/98 IR:  
 LoanBal: \$0 Pymnt:  
 CashAssume: 220,500 LnTrm/Yrs:

Elem: MARTIN PAR  
 SrHi: FAIRVIEW

Water: BOULDER Elec: PSC Gas: PSC  
 Middle : BASELINE Assoc Fee: 0 /  
 Sch Dist: BLDR VALLEY DIST RE2 Assc Xfer: N Reserve: N

Total SqFt: 1777 TotFinInclBsmt: 1777 FinExclBsmt: 1777 BsmtSqFt:  
 LowerLevel: 204 Main Level: 1388 Upper Level: 388 Addl Upper: 0  
 STR: 051S70 Water Meter: Y Water Rights: N Waterfront: N  
 Zoning: RES Approx. Lot Size: Approx. Acr:  
 Well Permit No: Garage #: 0 Garage Type: N Landsize: <.25 Acre  
 Year Built: 1952 New: N Builder: Est Comp Dt:

Baths	B	L	M	U	Adl	Tot	Rooms:	L	F	L	F	L	F
Full	0	0	1	0	0	1	LR: 19 X 11 M W	DR: 12 X 12 M C	Kt: 11 X 08 M V				
3/4	0	0	0	1	0	1	GR: 00 X 00	FR: 19 X 18 M O	RR: 00 X 00				
1/2	0	0	0	0	0	0	Lu: 05 X 04 M V	MB: 14 X 09 U C	2B: X				
Total	0	0	1	1	0	2	3B: X	4B: X	5B: X				
							SO: 11 X 07 U C	To BR: 2	All Beds Conform: Y RI:				

MSTR BDRM WAS REMODELED CREATING A 13.6X9 & 11.67X9.3 ROOM. IF 3 OR 4 BDRMS NEEDED COULD EASILY BE DONE. ADDITION BUILT IN '87 CREATES 2ND MSTR SUITE. NEW ROOF IN '96. NEW VINYL SIDING IN 94. WATER FEATURE IN PRIVATE BACKYARD. MATURE TREES. OPEN & SPACIOUS ROOMS. 19X10 UNFIN STORAGE PLEASE PICK UP LEAD BASE PAINT, SELLER'S PROPERTY DISCLOSURES & CLOSING INSTRUCTIONS AT HOUSE.

*former garage*

<.25 Acre	Ranch	Two Story	Frame	Vinyl Siding
Compos Roof	Crawl Space	Forced Air	Natural Gas	Electric
Cable TV Avl	South Exposr	Dbl Pane Win	Set Bk Therm	City Water
City Sewer	Window Cover	Elec Rng/Ovn	Dishwasher	Refrigerator
Washer	Dryer	Eat-in Kitch	Sep DiningRm	Open Flr Pln
Wood Windows	Fire Alarm	Wash/Dry Hks	Wood Floors	3/4 MstrBath
Deck	Part Fenced	Privte Owner	Owner Occup	Deliv.of Ded
Cash	Conventional	FHA	VA	Single Famly
HyrdW/in500'	City Street	LegalDesAvl	PropDisclYes	LeadPaintDis
Minimum - C	1 Ph/Mp/Rend			

LA email: BRUREMAX@RMI.NET LO Fax: (303) 449-8554  
 LA: 486550 BRUCE HAYES (303) 444-6661 SubAg: 0.00 ByAg: 2.80  
 LO: BOUL RE/MAX OF BOULDER (303) 449-7000 TrnBr: 2.80 LC: R BE: N  
 Fld: Min-C PropDisc: PrpDscl\* Open House Date: Time:

Pend Date : 09/24/1999 Terms: CONV FIX Points Paid by Seller: 0 DOM: 43  
 Close Date: 10/29/1999 Oth Consid/Seller: 0 Pts Pd Buyer: 0 SP: \$220,500  
 SA: 897871 GEOFF LUNN (303) 938-1019 Misc:  
 SO: MOCK MOCK REALTY COMPANY (303) 494-4250

05-15-70 2286 0001891 0010 1577 05 2 02 012 12F 1

(AB) SCHEDULE NO. 01891

(DAF) TAX AREA

LOT 12 BLK 4 BO HIGHLAND PK

2715 ELM AV BO

BUSTAMANTE PAULINE

2715 ELM AVENUE BOULDER CO 80302 106 0000 00000

78 1570 2880 4450 5233 9600 14833

79 1570 2610 4180 5233 8700 13933

1112 1217 107777 00-00 06-74 25500

(DAB) SEC. 1	(DAI) SEC. MAP NO.
5	
DIST.	
(HAF) PAGE	(HAI) TYPE INSTR.
	(HAB) DOC. FEE



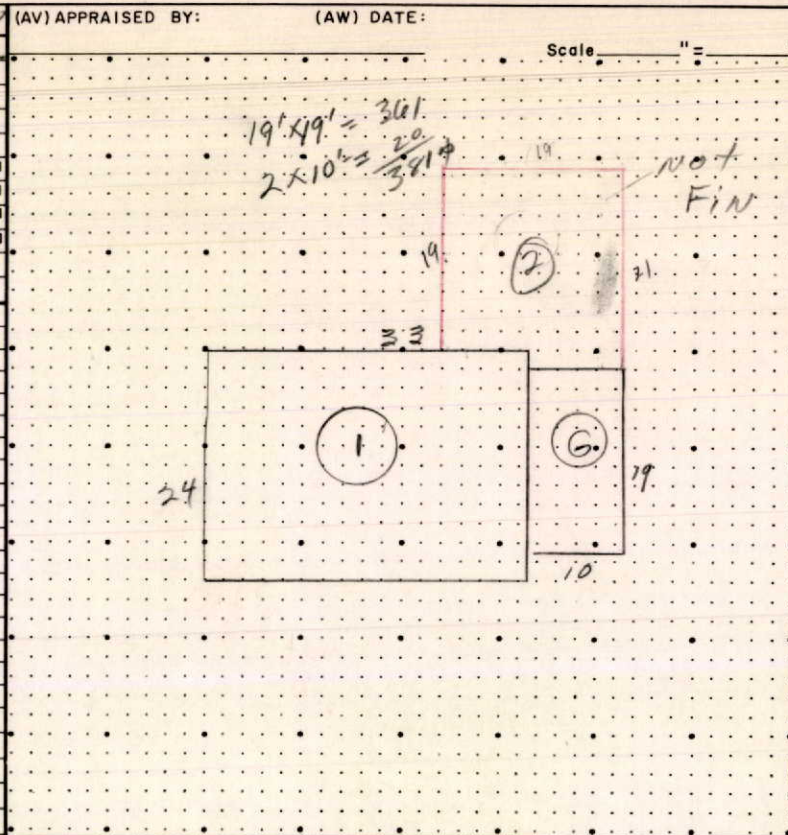
MAR 1978

LAND ATTRIBUTES SUBJECT PROPERTY	APPRAISER'S INTERVIEW AND VALUE ESTIMATE								INCOME APPROACH					
	(WAA) DATE	(WAB) APPRAISER	CONFIRMED SALE PRICE	(IAA) OCCUPANCY OWNER/TENANT	(IAB) MONTHLY RENT	(IAC) FURNISHED UNFURNISHED	(IAD) EST. ECONOMIC RENT (UNFUR.)	EST. (WAE) PROPERTY VALUE	DATE	GROSS RENT MULTIPLIER	ECONOMIC RENT	DATA REFERENCE	INDICATED VALUE	
(DAH) ZONING														
(JAA) USE														
IMPROVEMENTS	(JAB) LAND CLASS _____ LAND VALUE CALCULATION DATE (GAC) CODE (GAD) SIZE BASE UNIT ADJUSTMENT FACTORS (SIZE SHAPE LOCATION OTHER COMPOSITE) BASE UNIT VALUE TOTAL LAND VALUE								APPROACH USED (CORRELATION) FOR ACTUAL VALUE DETERMINATION (WBA) DATE (WBB) APPROACH USED (WBF) ACTUAL VALUE LAND / IMPS. RATIO (WBC) DETERMINED BY					
JBA Paved Street														
JBB Graveled Street														
JBC Unimproved														
JBD Sidewalk														
JBE Curb & Gutter	COST APPROACH DATE TOTAL R.C.N.L.D. COST FACTORS (AREA TIME) ADJUSTED R.C.N.L.D. ADD LAND INDICATED VALUE								ACTUAL VALUE (FAC) YEAR (GAB) LAND (FAB) IMPS. TOTAL ASSESSED VALUE (LAND IMPS. TOTAL) ENTERED BY					
JBF Street Lights									19 78		9600		2880	4/12/78 oc
JBG Alley									19					
UTILITIES	MARKET APPROACH (COMPARABLE SALES) SALES REFERENCE DATE OF SALE PRICE PAID (R.E. ONLY) TIME ADJ. LOCATION ADJ. PHYSICAL CHARACTERISTICS (OTHER ADJUSTMENTS) INDICATED VALUE													
JCA Public Water									19					
JCB Well Water									19					
JCC Public Sewer									19					
JCD Septic System														
JCE Natural Gas														
JCF Electricity														
TOPOGRAPHY														
JDA Level														
JDB High														
JDC Steep														
JDD Low														
JDE Sloping														
JDF Hilly														
JDG Rock														
JDH Retaining Wall														
SHAPE, ETC.														
JEA Representative														
JEB Irregular														
JEC Cul-De-Sac														
JED Corner														
JEE View														
JEF Non-St. Front														
Reviewed by: L.L.									Date: 8/78					

BUILDING DESCRIPTION AND REPLACEMENT COST RECORD-RESIDENTIAL

(AA) TYPE NO. 127 (AN) DESIGN Ranch (AV) APPRAISED BY: (AW) DATE: (AX) Date: 3/25/78 Computed by: CFB (AY) Reviewed by:

(E) FOUNDATION (K) APPLIANCES AND MECHANICAL (L) PLUMBING (M) HEATING & COOLING (I) INTERIOR FIN. (J) FLOORS & FLRG.



(Z) OTHER ITEMS (A) Fireplace (B) Yard Improvements (C) (D) (E) (Z) TOTAL OTHER ITEMS

REMARKS 7/29/86 - Remodeled area shell only - No construction for 1980. Check in 1987 for progress. KSS

QUALITY ADJUSTMENT (At Time of Construction) - + (CA) Design (Maximum 2%) (CB) Exterior (Maximum 3%) (CC) Interior (Maximum 11%) (CD) NET VARIANCE (From Type) + 100% TOTAL QUALITY ADJUSTMENT 100%

(X) Date: 3/25/78 (Y) Reviewed by: CFB FIRST FLOOR 24 x 33 = 792 (BA) TOTAL 792 sq ft \$10.95 \$8672 SECOND FLOOR AND ABOVE (BB) TOTAL (AJ) HALF STORY/FIN. ATTIC (AK) PARTIAL BSMT. (UNFIN.) (AL) FINISHED BASEMENT (BE) TOTAL APPLIANCES & MECHANICAL 1851 DOLLAR ADJUSTMENTS N. Stn./Moss Rock Framing Adj. Roofing Concrete Slab Carpet (AM) PORCHES, ETC. CARPORT (BF) GARAGE (BG) 10 x 19 190 sq ft 1178 OTHER ITEMS REPLACEMENT COST NEW \$11701 ADJUSTED % GOOD 82% TOTAL R.C.N.L.D. \$9596

gm 4/20/78





**City of Boulder Planning and Development Services**  
 1101 Arapahoe Avenue • Boulder, CO 80306  
 Phone: 303-441-1880 • Web: boulderplandevop.net

# BOARD OF ZONING ADJUSTMENT (BOZA) VARIANCE APPLICATION FORM

**APPLICATION DEADLINE IS THE SECOND MONDAY OF EACH MONTH.  
 MEETING DATE IS 4PM (MST) ON THE SECOND TUESDAY OF THE FOLLOWING MONTH.**

\*Submittal of inaccurate or incomplete information and materials may result in rejection or delay of the application.\*

## GENERAL DATA

(To be completed in full by the applicant.)

- Street Address or General Location of Property: 435 DEWEY AVE, BOULDER, CO 80304
- Legal Description: Lot 1-4+ Block 3 Subdivision MOUNTAIN HEIGHTS (Or attach description.)
- Lot Size: 7974 S.F.
- Existing Use of Property: SINGLE FAMILY RESIDENCE
- Detailed Description of Proposal (Specific Variance[s] Requested Including All Pertinent Numerical Values (e.g.: Existing, Required and Proposed Setbacks for the Subject Setback Variance):

SIDE YARD SETBACK VARIANCE TO ALLOW REBUILDING OF A PORTION OF A STRUCTURE DAMAGED BY FIRE, EXISTING STRUCTURE TO REMAIN, AND PORTION TO BE DEMOLISHED. IS LOCATE 2.2' FROM WEST PROPERTY LINE. NEW CONSTRUCTION WILL EXTEND 6' TO THE NORTH OF EXISTING NORTH WALL, ALONG SAME WEST EDGE.

*Total gross floor area existing: <u>2247</u>	*Total gross floor area proposed: <u>2883</u>
*Total gross building coverage existing: <u>1569</u>	*Total gross building coverage proposed: <u>1819</u>
*Building height existing: <u>19'4"</u>	*Building height proposed: <u>24'5"</u>

\*See definitions in Section 9-16-1, B.R.C. 1981.

- ◆ **Name of Owner:** KIM PARSONS
- Address: 435 DEWEY AVE, BOULDER CO Telephone: 303-562-5816
- City: BOULDER State: CO Zip Code: 80304 Email: KIM@KIMPARSONS.COM
- ◆ **Name of Contact (if other than owner):** JAMES PLAGMANN
- Address: 2687 5TH ST. Telephone: 303-667-9629
- City: BOULDER State: CO Zip Code: 80304 Email: James@HUMANATUREARCH.COM

**APPLICATION TYPES (Check All That Apply For This Application)**

- Setback (BRC 9-7-1)
  - Porch Setback & Size (BRC 9-7-4)
  - Building Separation (BRC 9-7-1)
  - Bulk Plane (BRC 9-7-9)
  - Side Yard Wall Articulation (BRC 9-7-10)
  - Building Coverage (BRC 9-7-11 or BRC 9-10)
  - Floor Area Ratio (BRC 9-8-2)
  - Parking in Front Yard Landscape Setback (BRC 9-7-1 & 9-9-6)
  - Size and Parking Setback Requirements for Accessory Units (BRC 9-6-4)
  - Cumulative Accessory Building Coverage (BRC 9-7-8)
  - Mobile Home Spacing Variance (BRC 9-7-13)
  - Use of Mobile Homes for Non-Residential Purposes (BRC 10-12-6)
  - Solar Exception (BRC 9-9-17)
  - Sign Variance (BRC 9-9-21)
  - Fence and Wall Variance (BRC 9-9-15)

**APPLICATION REQUIREMENTS**

All variance applications are electronic submittal and review. Visit the Planning & Development Services Online Center for additional information & guidance on the application process and how to apply. As a minimum, the following items MUST ultimately be provided for an application to be considered complete:

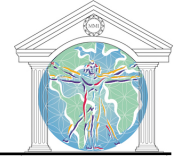
- A completed and signed BOZA Application Form;
- If the applicant is other than owner(s), a written consent of the owner(s) of the property for which the variance is requested;
- A detailed written statement thoroughly describing the variance request(s) and addressing all pertinent review criteria for approval – see *BOZA Info & Criteria Guide*;
- A signed and stamped Improvement Location Certificate or Site Improvement Survey and legal description by a registered surveyor;
- A site development plan including setbacks, building elevations, interior layout/floor plans and any other pertinent exhibits;
- A demolition plan clearly differentiating between existing/remaining and proposed portions of the structure(s);
- Any other information pertinent to the variance request (e.g. neighbor letters, photos, historic records/approvals, renderings, etc.);
- A completed and signed 'Sign Posting Acknowledgement Form' *Note: The applicant is responsible for posting the property in compliance with city requirements. Obtaining sign(s) will be messaged to an applicant once it has been placed on an agenda. The applicant will be responsible for posting the required sign(s) within 10 days of the hearing date. Failure to post the required sign(s) may result in the postponement of the hearing date.*
- A Board of Zoning Adjustment application fee (as prescribed in the current 'Schedule of Fees' which can be found at [bouldercolorado.gov/plan-develop](http://bouldercolorado.gov/plan-develop)).

---

NOTE: SEE SECTION 9-2-3(l), B.R.C. 1981 FOR VARIANCE EXPIRATION INFORMATION

Applicant Signature Kim M. Parsons Date 9/09/2024  
Owner (if other than Applicant) Signature \_\_\_\_\_ Date \_\_\_\_\_





9 September 2024

## **BOZA Zoning Variance Request**

Street Address: 435 Dewey Ave., Boulder, CO 80304

Legal Description: West 40' of Lots 1, 2, 3 & 4 and 10' strip of land being a vacated alley west of Lots 1, 2, 3, & 4, and a 10' strip of land North of Lot 1, Block 3, Mountain Heights Subdivision

Existing Use - Single Family Residence

### Proposal:

An existing small, one story home with an attic had a small fire within it. It did not burn through the exterior envelope anywhere, but the entire interior was smoke damaged. Deconstruction of all interior finishes has been completed under a separate deconstruction permit. The existing northern portion of the home - a grade level space lower than the main floor, with a shed roof - is where the fire occurred. Some of the roof rafters, and some of the exterior finishes were burned, so this element's roof and walls will be deconstructed. The finished floor of that space was located right at grade, and the exterior patio directly outside of it slopes toward the home, so this floor level needs to be raised.

The owner loves living in Boulder, and wants to live out her life in this home where she has been since 1990. She would like to replace the existing space that will be deconstructed, and add an art studio above it.

Proposed scope of work is to deconstruct the existing northern portion of the structure, and replace it with a new addition that will have a 250 s.f. larger footprint than the existing space, and the floor level will be raised by approximately 1'. Also, a new studio space is proposed on the floor above. The existing stairs from the basement to the grade-level space, which are not code compliant, will be rebuilt to reach the new level, and the existing stairs from the grade-level space to the main floor, which are also not code-compliant, will be replaced from the new level to the main floor. A new stair, from the new addition level to the upper level studio, will be constructed. Since the existing stairs are on the West of the structure, and cannot be moved due to the layout of the basement that includes unexcavated portions, the new stairs will be located in the same area, on the West side, so as to minimize circulation space.

Also, all existing windows and doors will be replaced with higher performing elements.

### Setback variance being requested:

On the West side of the structure, the existing setback is 2.2' at the North end of the structure where the deconstruction and new construction will be located. The new addition's West wall will be in the same location as the existing West wall, and the new space will extend 6' further to the North than the existing North wall. The new East wall will be moved to align with the main structure's East wall. The replacement structure would require relief from the 5' side yard setback, to allow it to be located 2.2' from the property line. On the east side, the setback is over 15'.

Written statement addressing criteria:

The reasons for requesting a zoning adjustment are:

1. Physical Conditions:

- A. The existing structure was built 2.2' from the West property line before current setback regulations were implemented. And the stairway from the basement to the North portion of the structure is located along the West side of the building, and cannot be relocated due to the layout of the basement, and unexcavated portions of the basement.
- B. This condition of proximity to the West property line does not exist throughout the neighborhood. Most houses in the neighborhood comply with the current side yard setbacks.
- C. In order to replace the existing structure to be deconstructed, the location of the existing west wall needs to remain where it is, to allow the existing stairs to remain where they are located, and to allow the new stairs to be constructed with minimum circulation space.
- D. This hardship has not been created by the applicant. The home was built in 1930, and purchased as is by the current owner in 1990.

5. General Criteria:

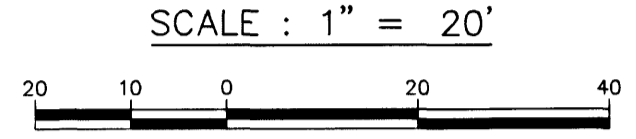
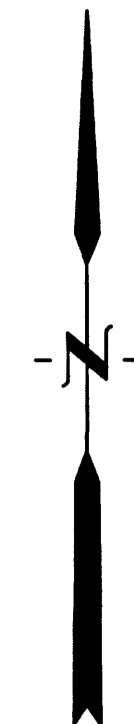
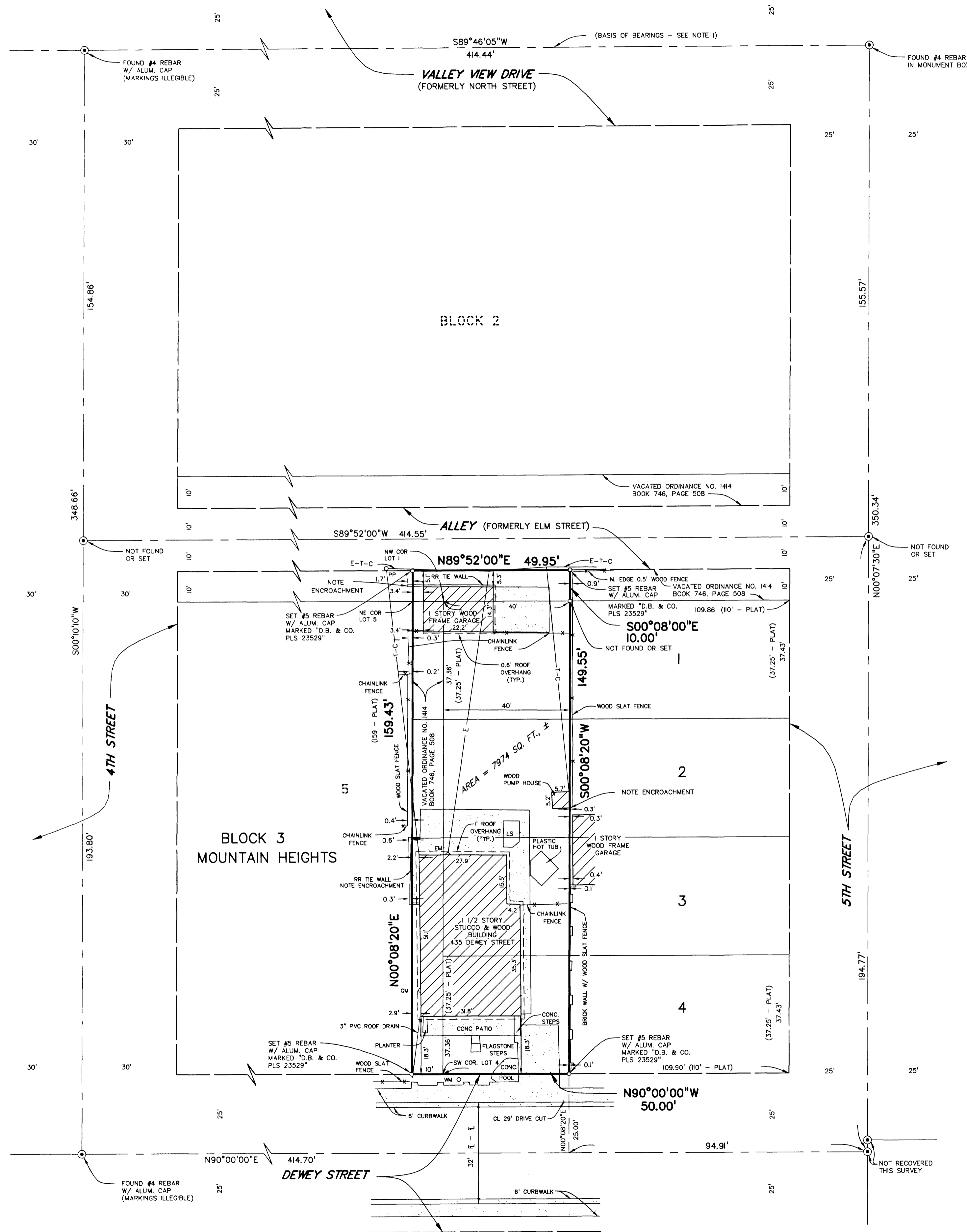
- A. This addition would not only not alter the essential character of the neighborhood, it would enhance it. The existing structure to be deconstructed is old and unattractive, and the shed roof varies from the gable roof of the main portion of the structure. The new addition will have nicer finishes, and a gable roof, harmonizing with the existing roof of the main structure.
- B. The proposed addition would be located on the rear of the structure, not visible from the street. The addition will be the same width as the main structure, and the roof will be only slightly higher to allow a few south-facing windows for daylight. This would not impair the reasonable use and enjoyment or development of adjacent property. No glazing will be added on the West side of the addition, so no new views onto the property to the West will be created.
- C. This variance is the minimum that will allow both replacement of existing structure, and the additional 6' of space to allow the stairs to meet code and allow code compliant circulation and access to the back yard. The new structure's roof must comply with the bulk plane requirement, which affects the layout of the new stairway accessing the upper floor.
- D. The proposed addition would have no effect on the solar access of the neighboring residence to the West, due to the low height of the roof eave, which complies with the bulk plane requirement.



View along West property line from North



View along North side of existing structure to the West



**LEGEND**

EM	ELECTRIC METER
FL	FLOWLINE
GM	GAS METER
LS	LANDSCAPE
PP	POWER POLE
PVC	POLYVINYLCHLORIDE PIPE
WM	WATER METER
E	OVERHEAD ELECTRIC LINE
T-C	OVERHEAD TELEPHONE & CABLE TELEVISION LINES

- NOTES**
- BEARINGS ARE BASED ON THE CENTERLINE OF VALLEY VIEW DRIVE BETWEEN ITS INTERSECTIONS WITH 4TH STREET AND 5TH STREET AS BEARING S89°46'05"W (ASSUMED MERIDIAN).
  - RECORDED EASEMENTS, RIGHTS-OF-WAY AND LEGAL DESCRIPTION ARE SHOWN AS PER FIRST AMERICAN TITLE INSURANCE COMPANY ORDER NO. T01081A95, EFFECTIVE DATE: JUNE 1, 1995.
  - THIS PROPERTY DOES NOT LIE WITHIN ANY MAPPED 100 YEAR FLOOD PLAIN AS SHOWN OF FLOOD INSURANCE RATE MAP, BOULDER COUNTY, COLORADO AND INCORPORATED AREAS, MAP NUMBER 08013C0395 F, COMMUNITY-PANEL NUMBER 08024 0395 F, EFFECTIVE DATE: JUNE 2, 1995.

**LEGAL DESCRIPTION**

THE WESTERLY 40 FEET OF LOTS 1, 2, 3 AND 4 AND THAT PORTION OF THE 10 FOOT STRIP OF LAND, BEING A VACATED ALLEY, AS VACATED BY ORDINANCE NO. 1414 RECORDED AUGUST 15, 1944 IN BOOK 746 AT PAGE 508, SITUATED BETWEEN LOTS 1, 2, 3 AND 4, ALL IN BLOCK 3, MOUNTAIN HEIGHTS, RECORDED FEBRUARY 28TH, 1903 IN PLAT BOOK 2 AT PAGE 192 OF THE RECORDS OF BOULDER COUNTY, COLORADO, ALSO A TRACT OF LAND BEING A PORTION OF ELM STREET VACATED BY ORDINANCE NO. 1414, RECORDED AUGUST 15, 1944 IN BOOK 746 AT PAGE 508, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF LOT 1, SAID BLOCK 3; THENCE EASTERLY ALONG THE NORTHERLY LINE OF SAID LOT 1, A DISTANCE OF 40 FEET; THENCE NORTHERLY AND ALONG RIGHT ANGLES TO SAID NORTHERLY LINE OF SAID LOT 1, A DISTANCE OF 10 FEET; THENCE WESTERLY 50 FEET TO A POINT ON THE EASTERLY LINE OF SAID LOT 5 EXTENDED, WHICH SAID POINT IS 10 FEET NORTH OF THE NORTHEAST CORNER OF SAID LOT 5; THENCE SOUTHERLY ALONG THE EASTERLY LINE OF SAID LOT 5 EXTENDED 10 FEET TO THE NORTHEAST CORNER OF SAID LOT 5; THENCE EASTERLY 10 FEET TO THE POINT OF BEGINNING, COUNTY OF BOULDER, STATE OF COLORADO.

SURVEYOR: WILLIAM K. WRIGHT  
 4840 PEARL EAST CIRCLE, SUITE 114  
 BOULDER, COLORADO 80301-2475  
 (303) 442-4338

CERTIFIED TO: CORNERSTONE MORTGAGE CORPORATION  
 KIM PARSONS  
 SECURITY TITLE GUARANTY COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE (1) IN ACCORDANCE WITH "MINIMUM STANDARD DETAILED REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS", JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND ACSM IN 1992, AND INCLUDES ITEMS 1, 3, 4, 7a, 8 and 10 OF TABLE A THEREOF, AND (2) PURSUANT TO THE ACCURACY STANDARDS (AS ADOPTED BY ALTA AND ACSM AND IN EFFECT ON THE DATE OF THIS CERTIFICATION) OF AN URBAN SURVEY.

I FURTHER CERTIFY THAT THIS SURVEY WAS MADE UNDER MY DIRECT RESPONSIBILITY, SUPERVISION, AND CHECKING IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 38-51-100.3, ET SEQ., C.R.S. AS AMENDED, ON THE 13TH DAY OF JULY, 1995; THAT THE REAL PROPERTY SURVEYED IS LOCATED IN THE CITY OF BOULDER, COUNTY OF BOULDER, STATE OF COLORADO; THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF: THIS MAP OR PLAT OF THE SURVEY CORRECTLY SHOWS THE LOCATIONS OF ALL BUILDINGS, STRUCTURES, AND OTHER IMPROVEMENTS SITUATED ON SAID PREMISES; THAT EXCEPT AS SHOWN, THERE ARE NO EASEMENTS OR RIGHTS-OF-WAY OF RECORD, VISIBLE OR OTHERWISE KNOWN TO ME ON, ACROSS, OR AFFECTING SAID PREMISES; AND THAT EXCEPT AS SHOWN, THERE ARE NO ENCROACHMENTS ON ADJOINING PREMISES, STREETS, OR ALLEYS BY ANY OF SAID BUILDINGS, STRUCTURES, OR OTHER IMPROVEMENTS, AND NO ENCROACHMENTS ON SAID PREMISES BY BUILDINGS, STRUCTURES, OR OTHER IMPROVEMENTS SITUATED ON ADJOINING PREMISES.

**ALTA/ACSM LAND TITLE SURVEY OF A PORTION OF BLOCK 3 AND ADJACENT VACATED STREET AND ALLEY, MOUNTAIN HEIGHTS IN THE N1/2 OF SECTION 25, T1N, R71W OF THE 6TH P.M., CITY OF BOULDER, COUNTY OF BOULDER, STATE OF COLORADO.**  
**FOR: KIM PARSONS**

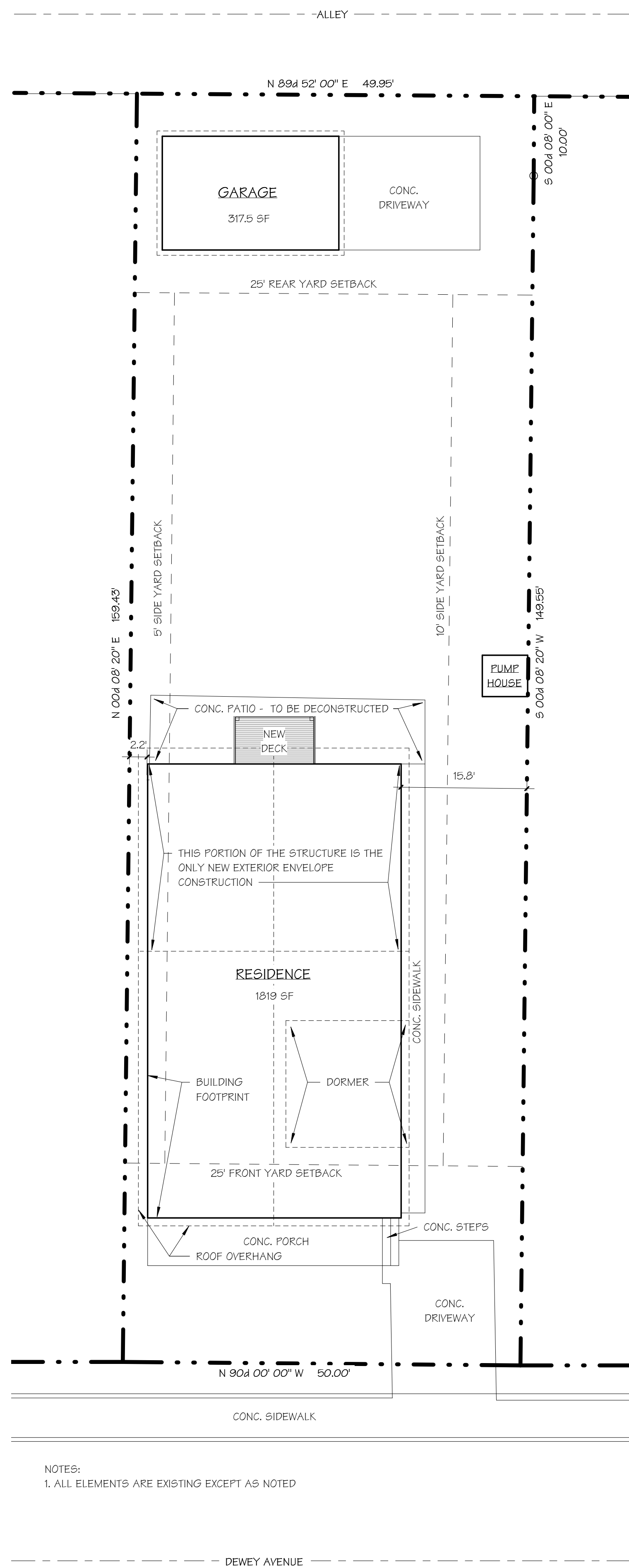
IN ACCORDANCE WITH CRS 13-80-105, NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

WILLIAM K. WRIGHT  
 COLORADO REGISTERED PROFESSIONAL LAND SURVEYOR NO. 23529  
 DATE 7/27/95

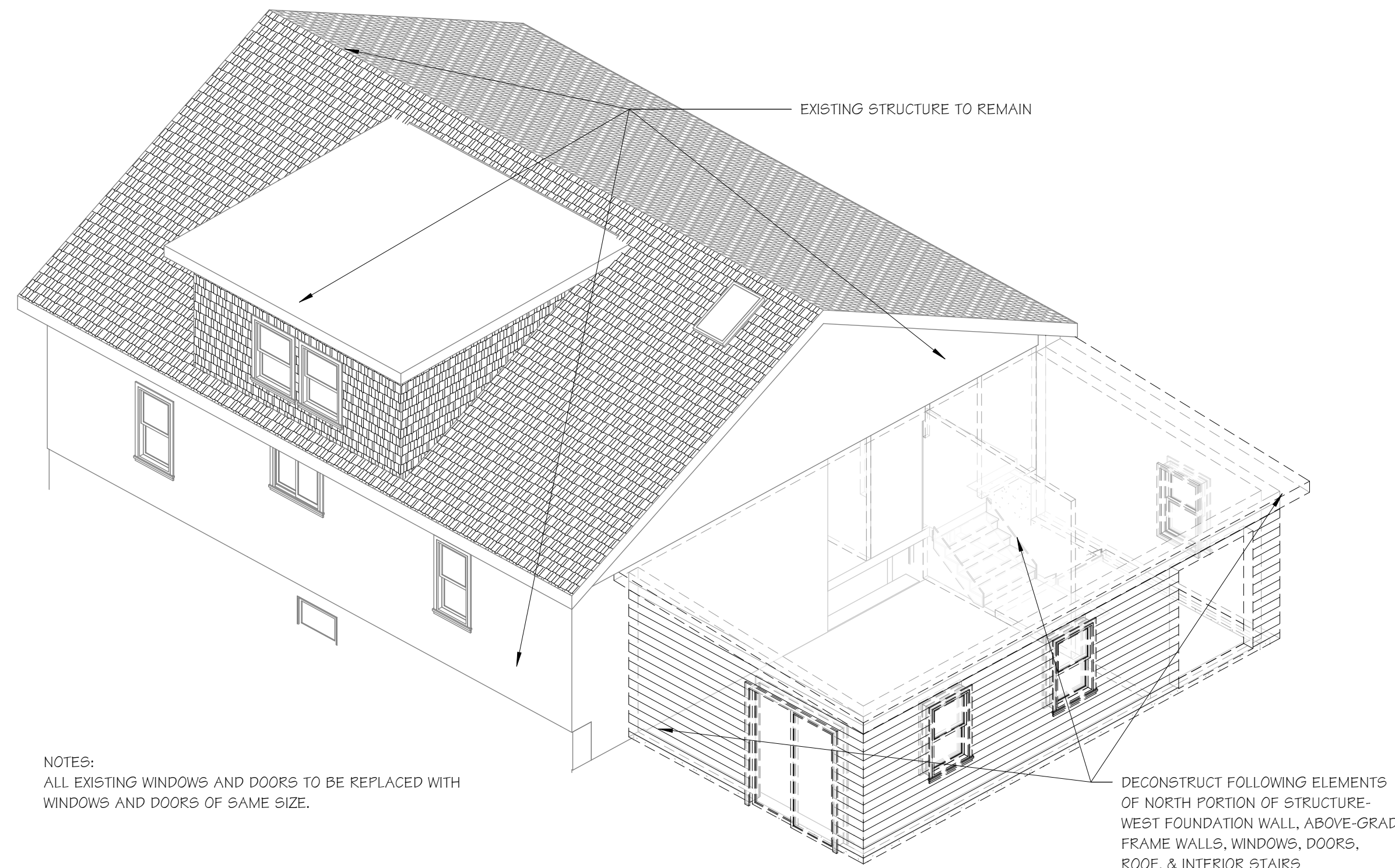
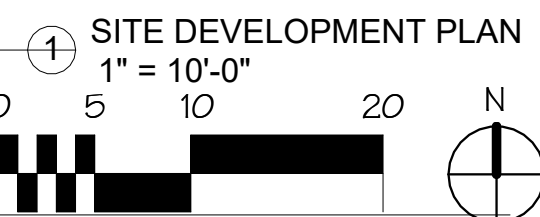
Drexel Barrell Engineers/Surveyors Incorporated 4840 Pearl East Cr., #114 Boulder, CO 80501 (303) 442-4338 740 Wooten Rd., #108 Colorado Springs, CO 80915 (719) 591-5151			
Revisions - Date	Date	Drawn By	Job No.
	7/25/95	GJM	3765-4
		Checked By	Drawing No.
		KA	B66-58

LS-95-0228

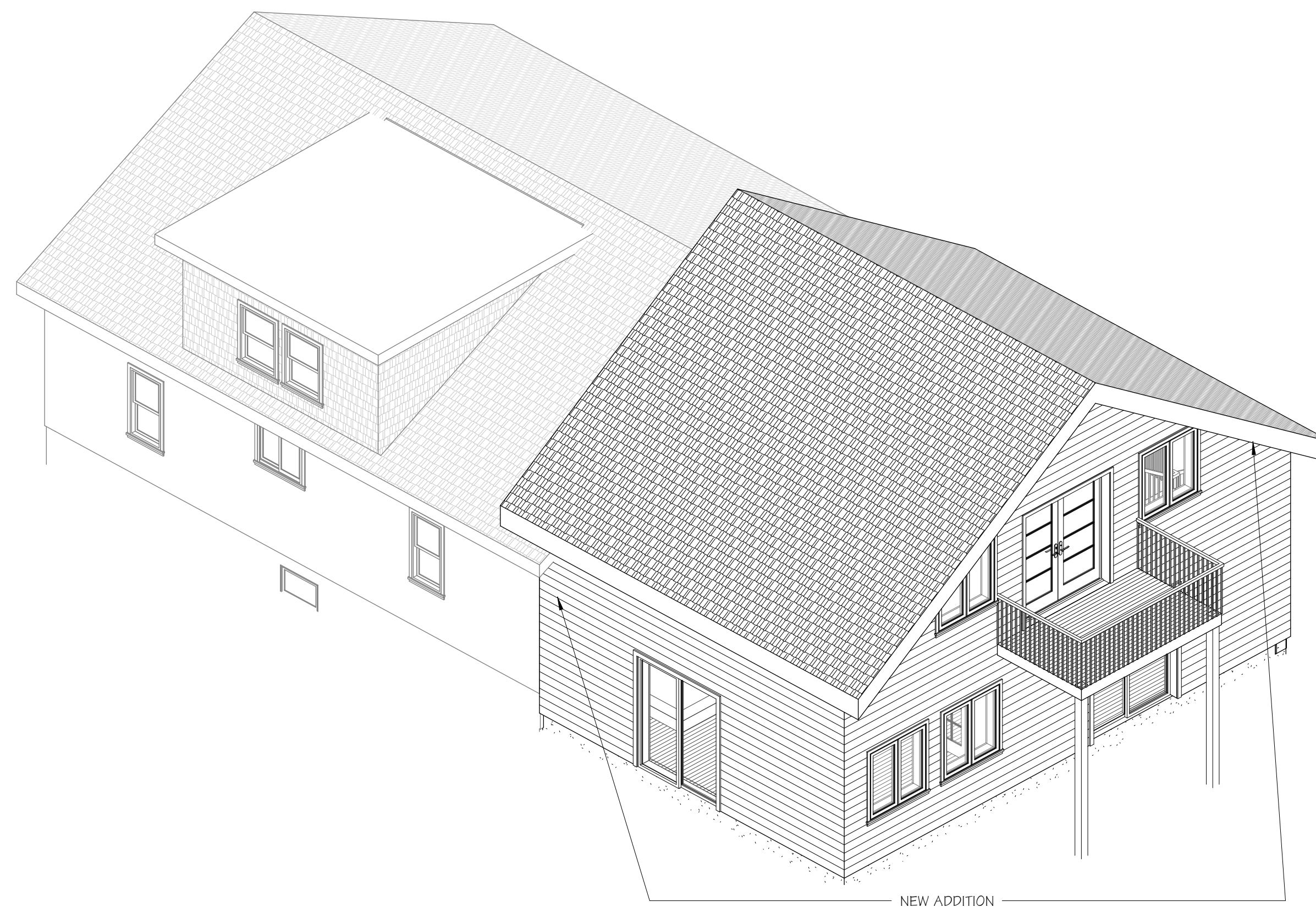




NOTES:  
1. ALL ELEMENTS ARE EXISTING EXCEPT AS NOTED



2 AXONOMETRIC - DECONSTRUCTION

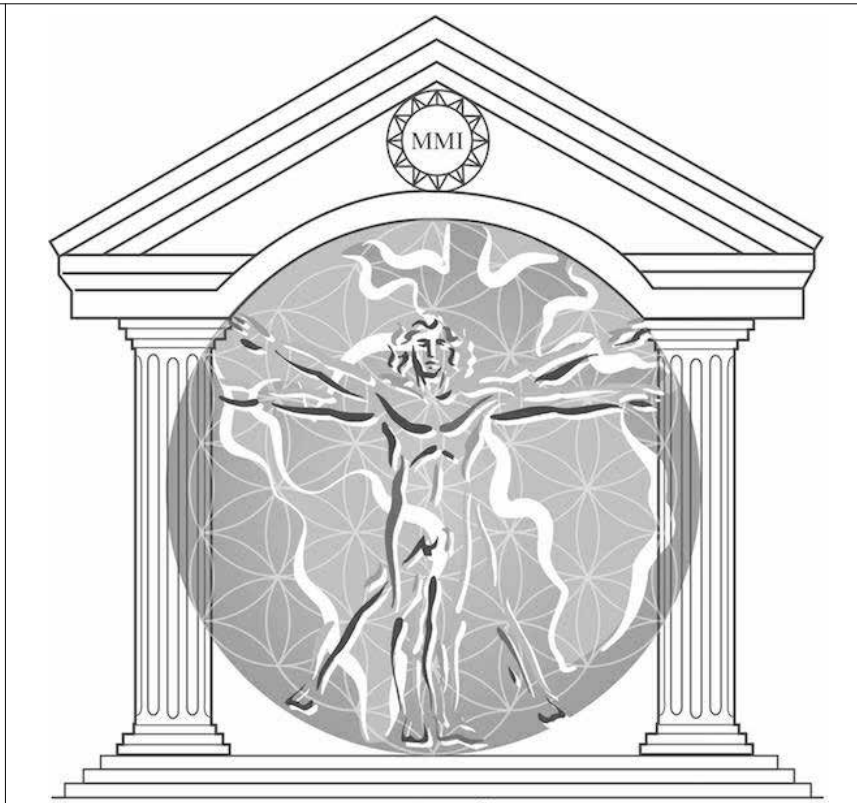


3 AXONOMETRIC - PROPOSED

PROJECT INFORMATION:

PROJECT SCOPE: CONSTRUCTION OF A NEW TWO-STORY ADDITION TO REPLACE AN EXISTING ELEMENT TO BE DEMOLISHED AFTER FIRE.

TOTAL FLOOR AREA OF EXISTING BUILDING (EXCLUDING BASEMENT)	- 1569 SF
TOTAL FLOOR AREA OF PROPOSED BUILDING (EXCLUDING BASEMENT)	- 2205 SF
LOT AREA	- 7974 SF
MAXIMUM FLOOR AREA (7974 SF X 0.2 + 2100)	= 3694 SF
FLOOR AREA RATIO - PROPOSED	- .23
BUILDING COVERAGE - EXISTING	- 1569 SF
BUILDING COVERAGE - MAXIMUM (7974 X .2 + 1050)	- 2644 SF
BUILDING COVERAGE - PROPOSED	- 1819 SF
BUILDING HEIGHT - EXISTING	- 19'-4"
BUILDING HEIGHT - PROPOSED	- 24'-5"



**HumaNature**  
ARCHITECTURE

2687 5th St.  
Boulder, CO 80304-3255  
Tel: 303.667.9629  
James@HumaNatureArch.com

Contractor/Consultants:

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Plans Prepared By:  
James Plagmann, CO Arch #305785

Revision/Date

Parsons  
Residence Rebuild  
435 Dewey Avenue  
Boulder, CO 80304

Ms. Kim Parsons

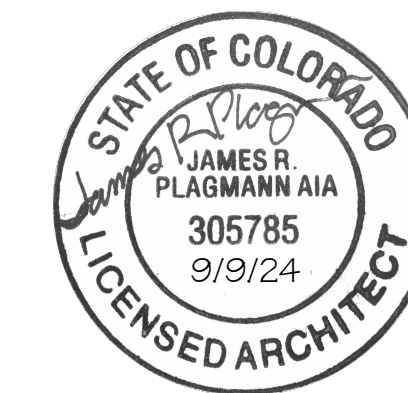
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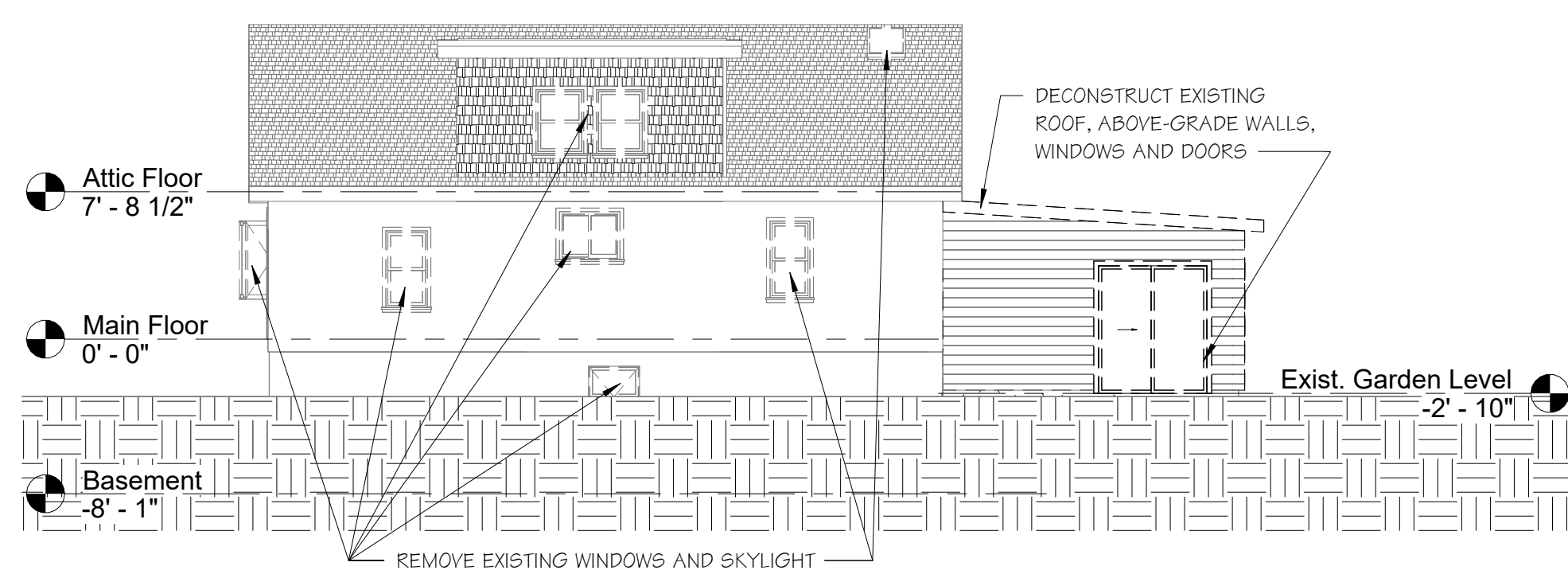
Date: 9 September 2024

Site Development Plan,  
Axonometrics

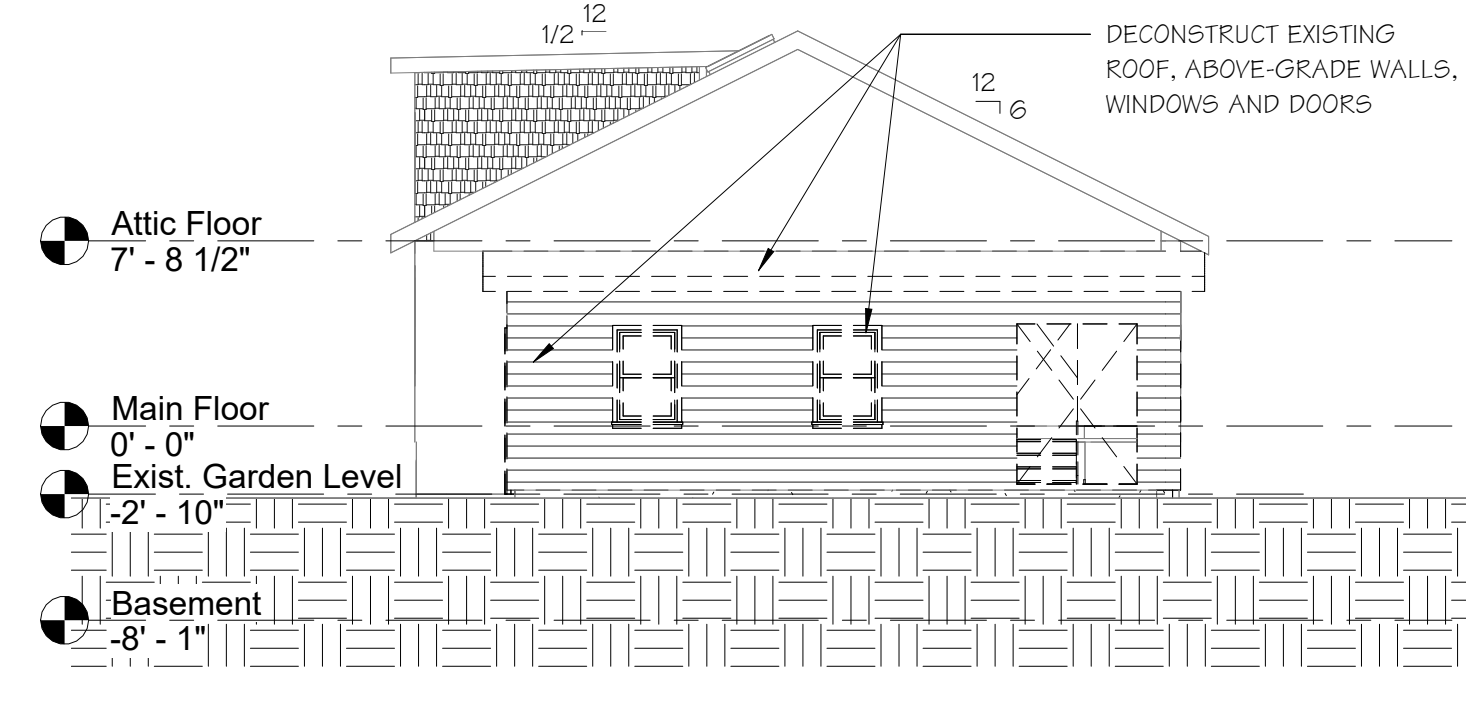
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Sheet 1 of 3

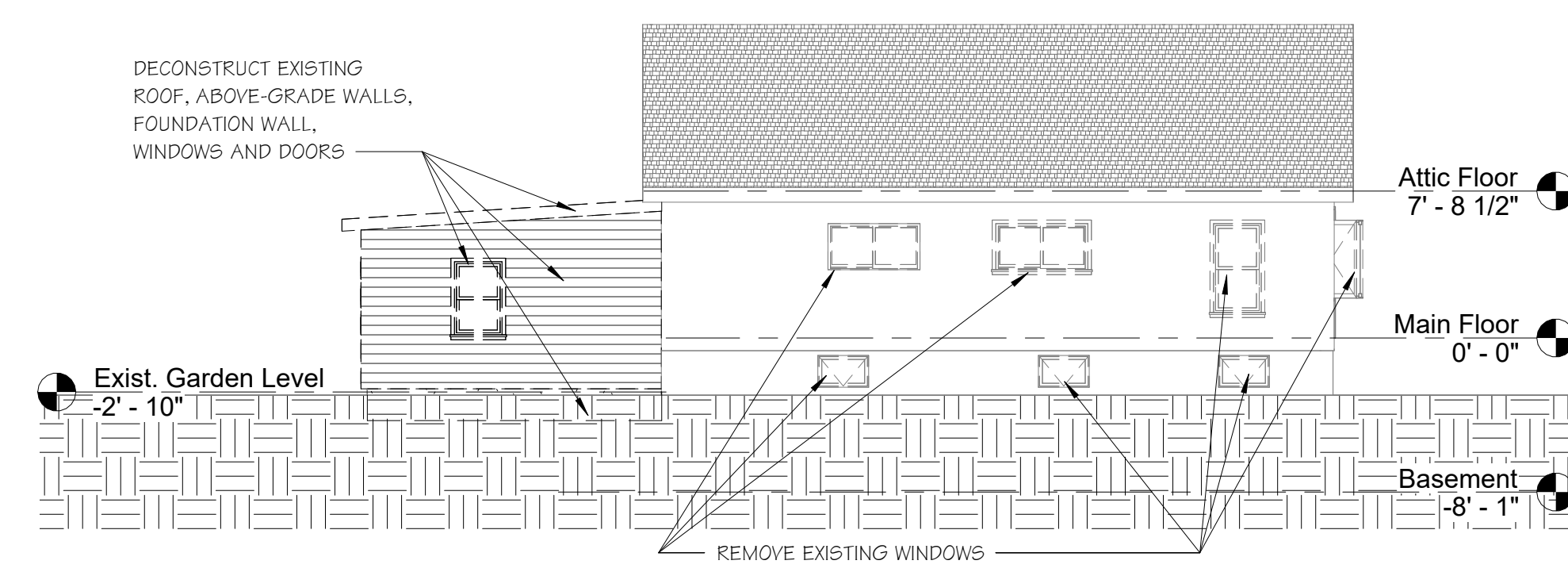




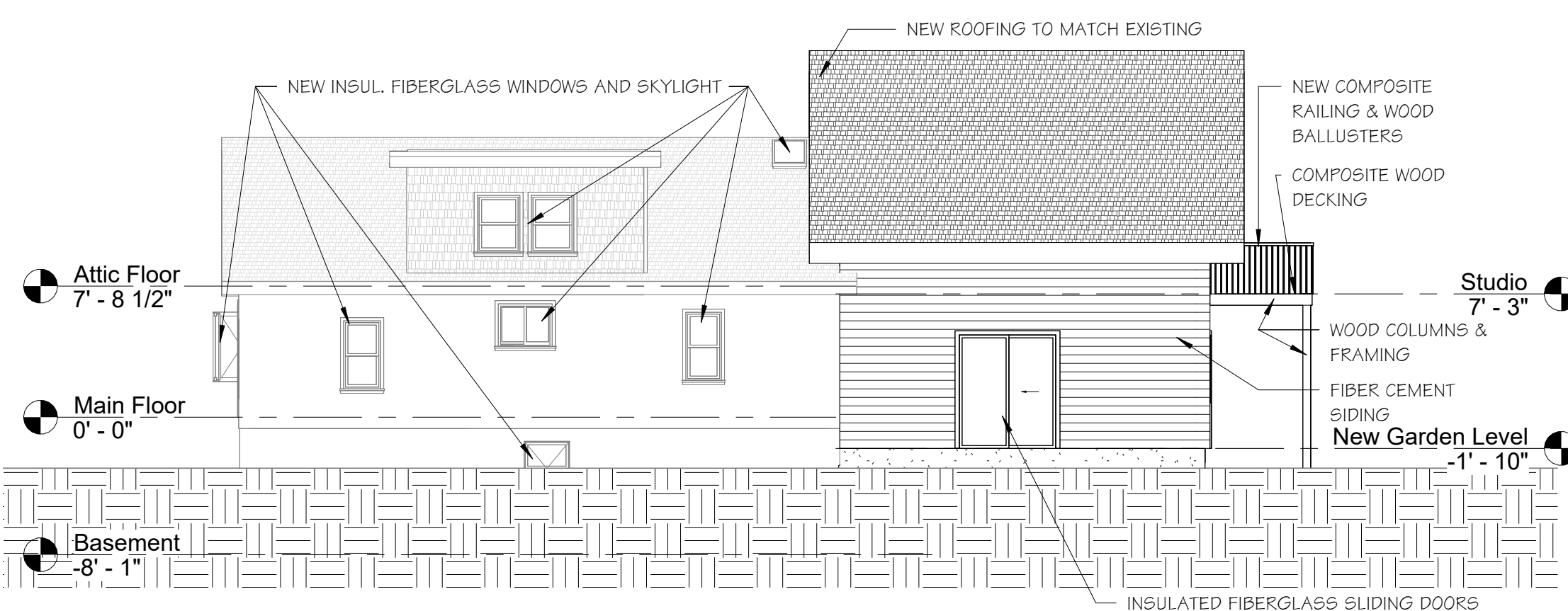
1 EAST ELEVATION - DECONSTRUCTION  
1/8" = 1'-0"



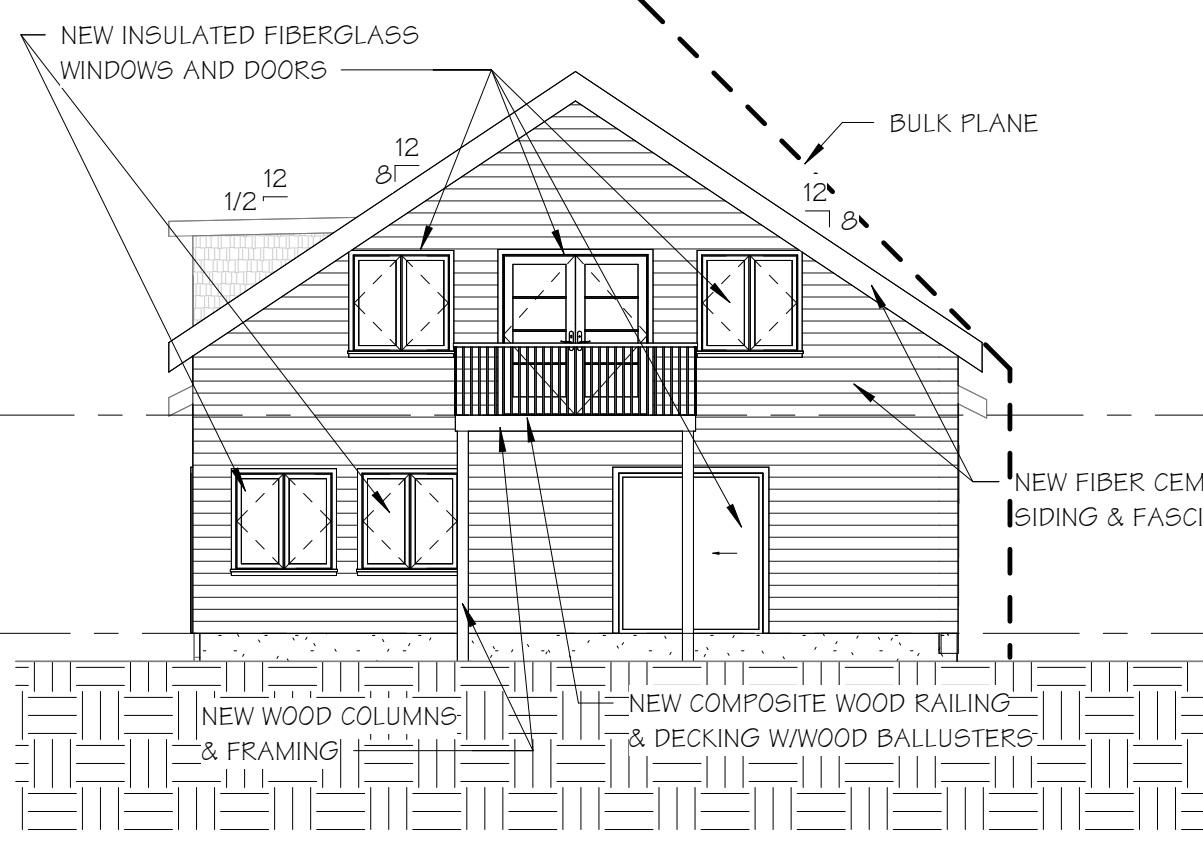
2 NORTH ELEVATION - DEMO  
1/8" = 1'-0"



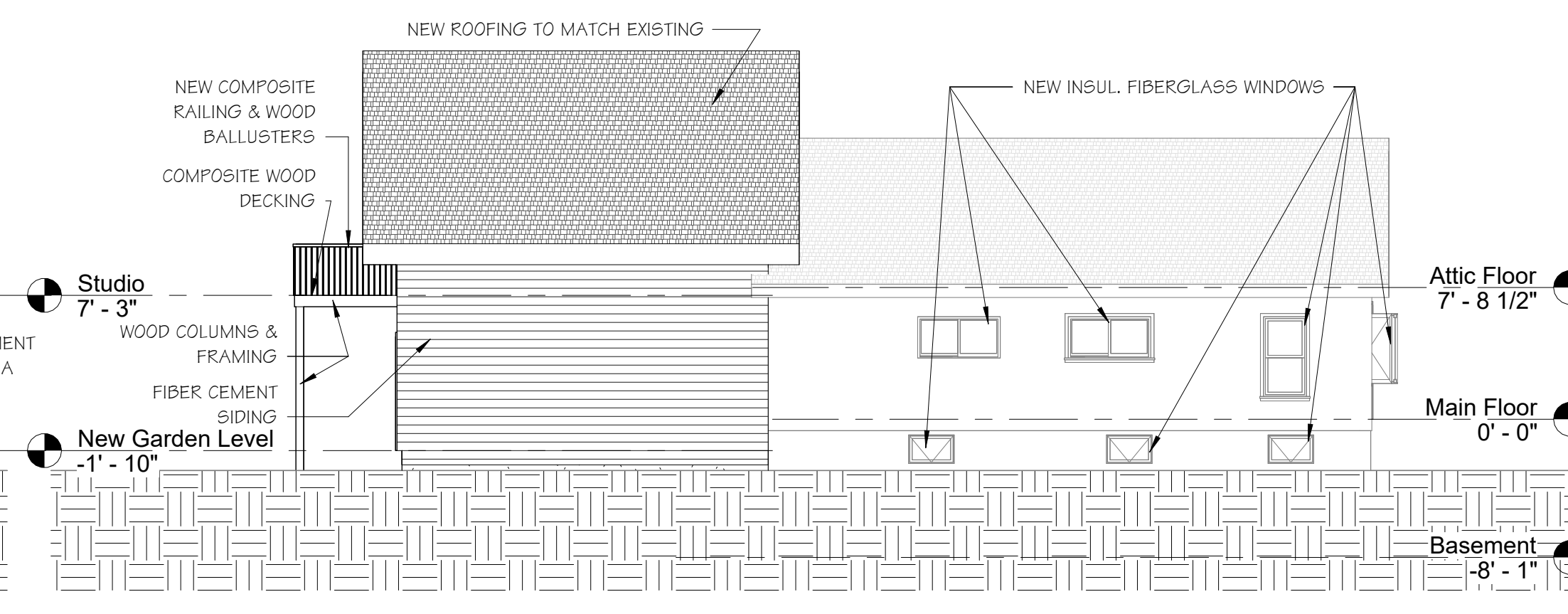
3 WEST ELEVATION - DEMO  
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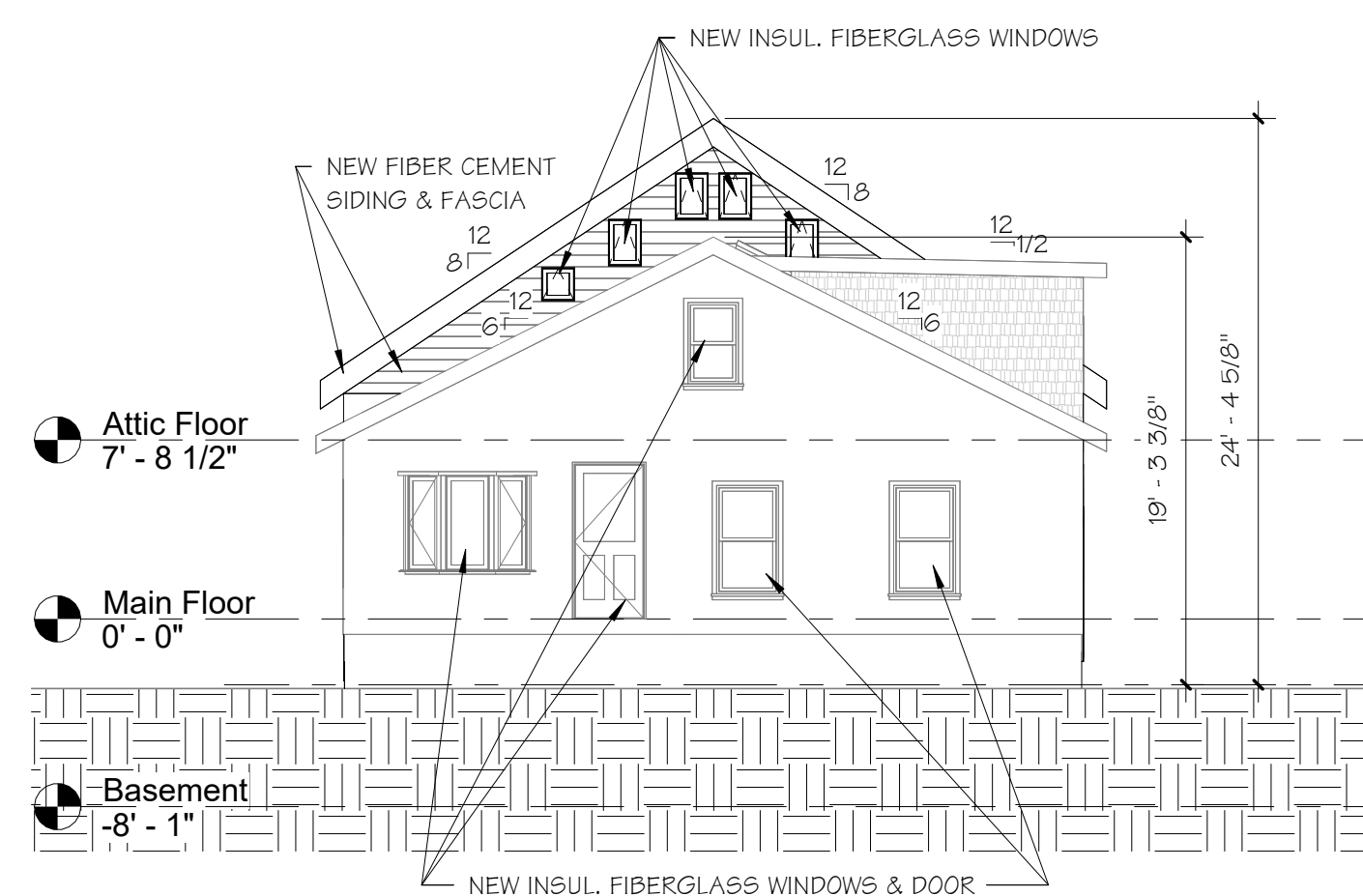
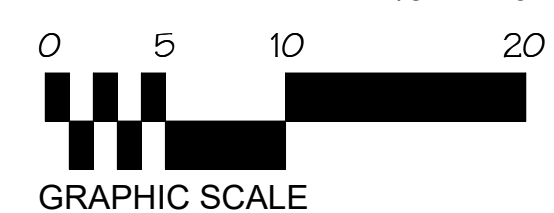
4 PROPOSED EAST ELEVATION  
1/8" = 1'-0"



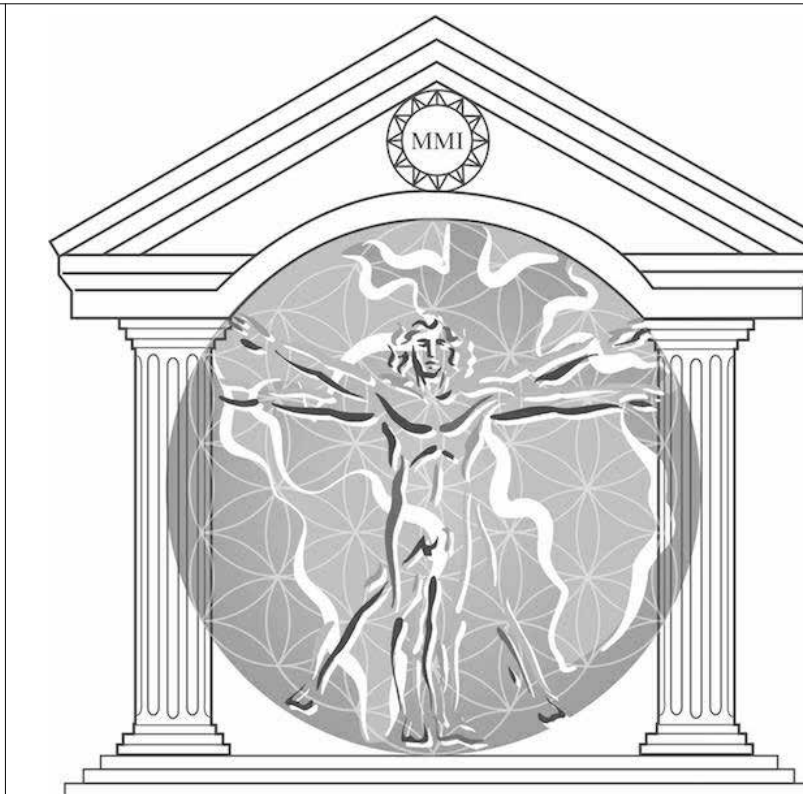
5 PROPOSED NORTH ELEVATION  
1/8" = 1'-0"



6 PROPOSED WEST ELEVATION  
1/8" = 1'-0"



7 PROPOSED SOUTH ELEVATION  
1/8" = 1'-0"



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Revision/Date

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Residence Rebuild  
435 Dewey Avenue  
Boulder, CO 80304

Ms. Kim Parsons

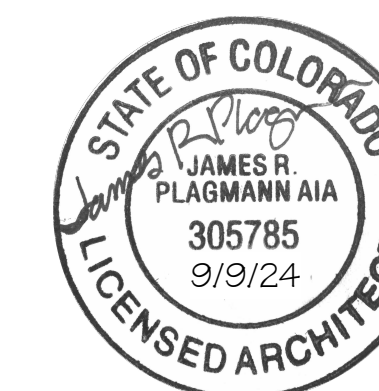
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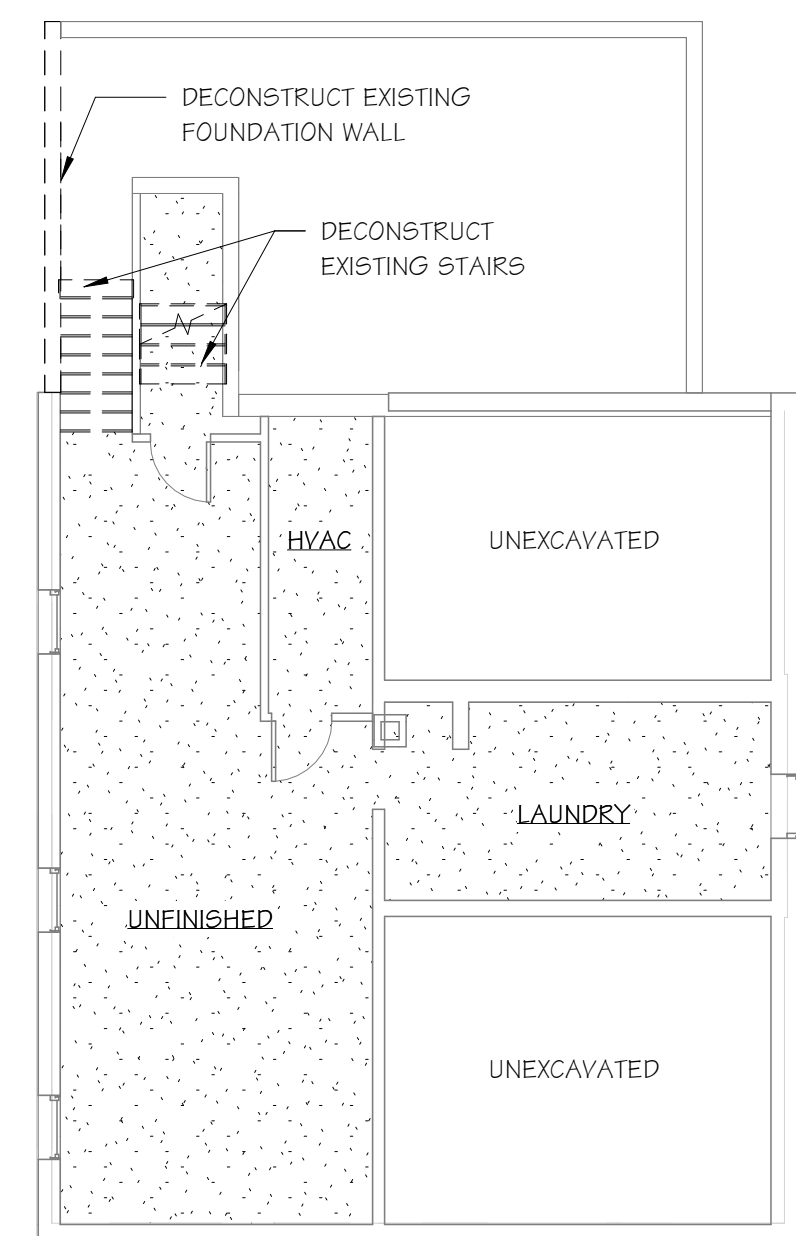
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Elevations - Deconstruct  
& Proposed

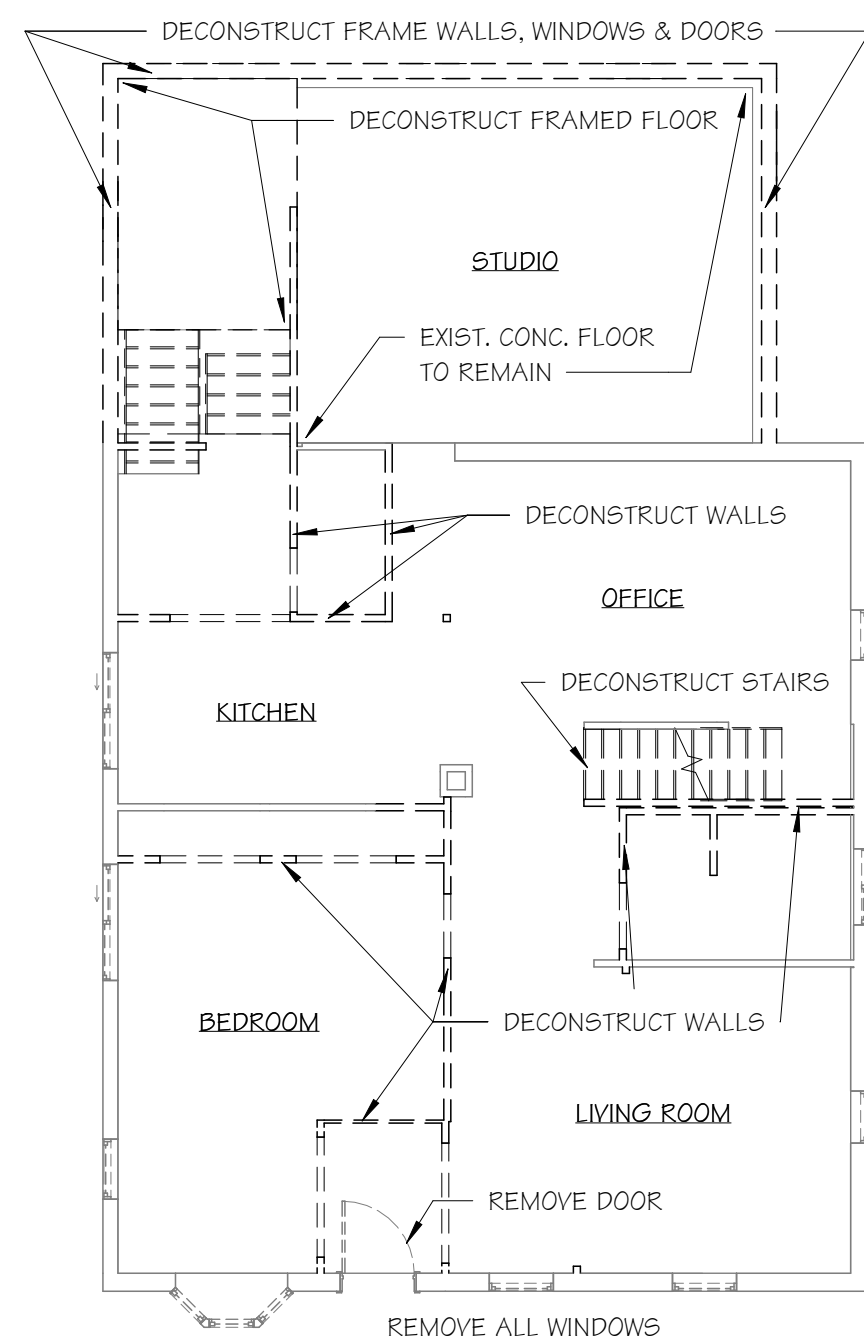
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Sheet 3 of 3

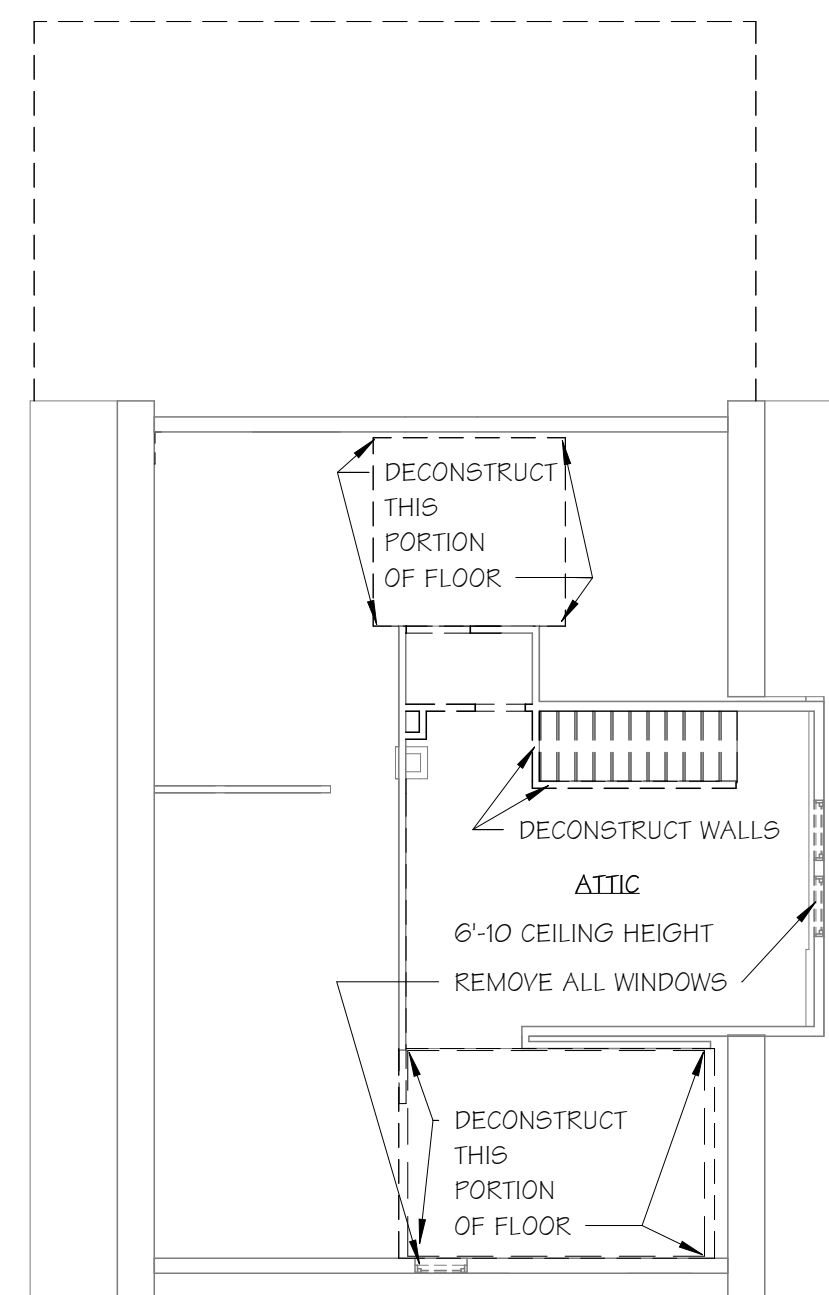




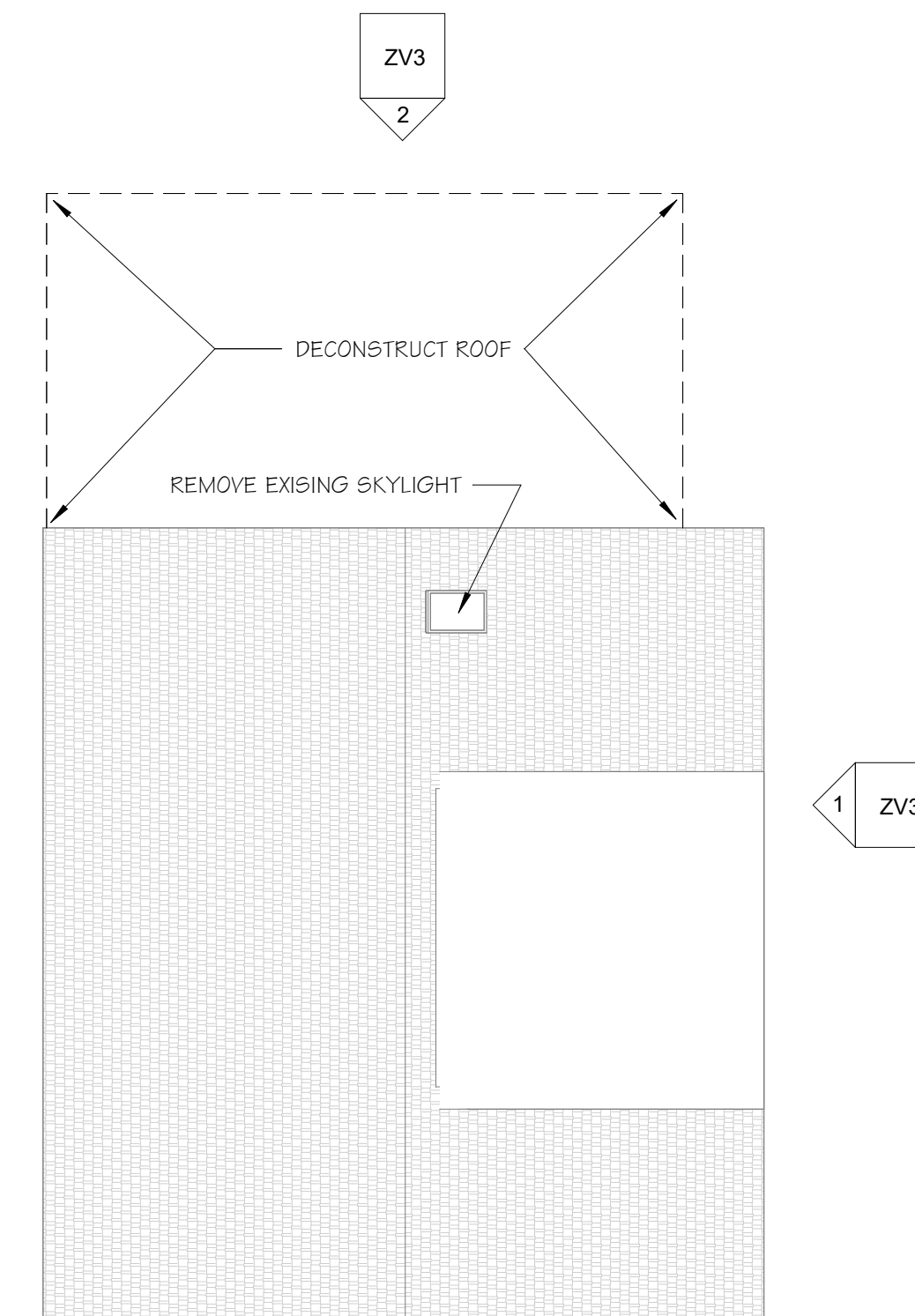
1 BASEMENT - DECONSTRUCTION PLAN  
1/8" = 1'-0"



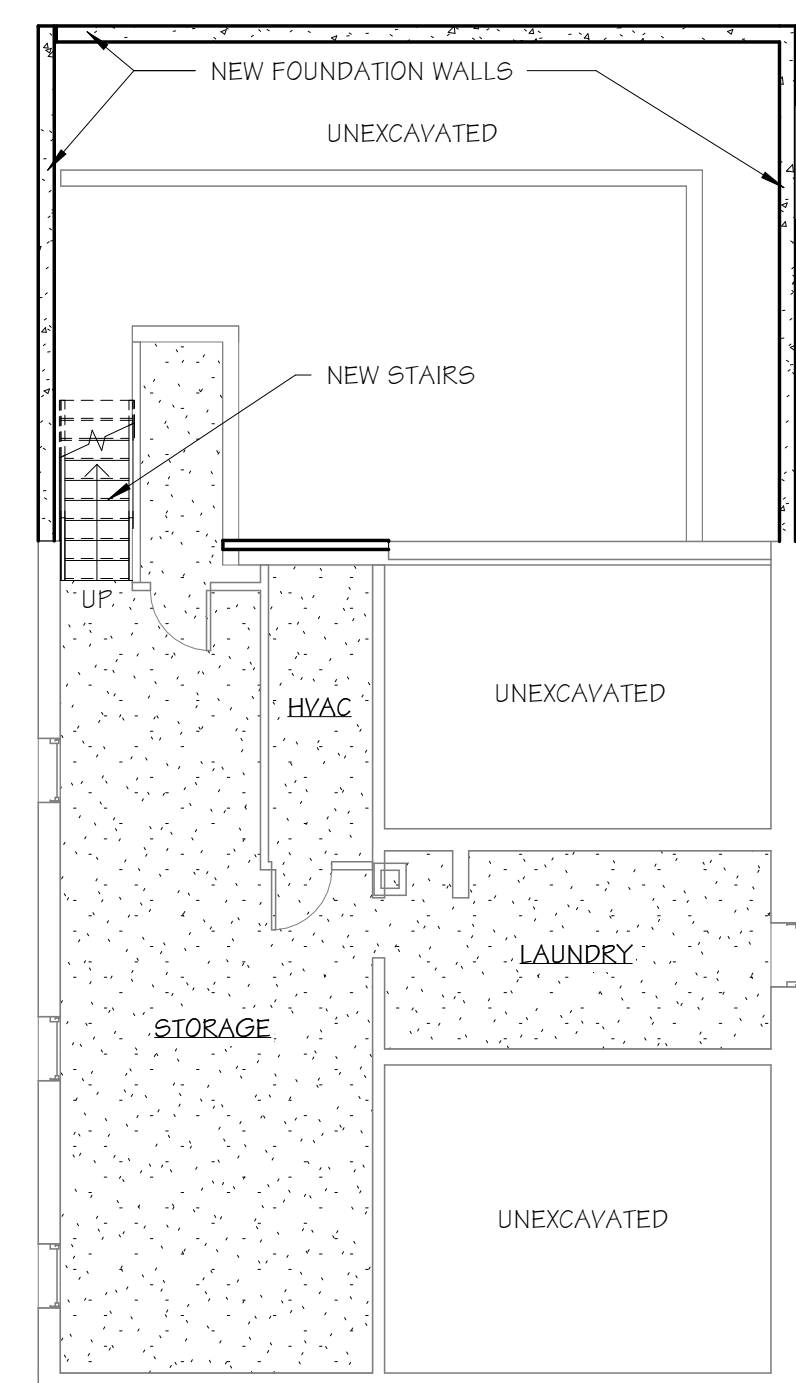
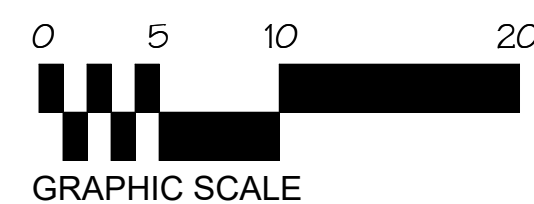
2 MAIN FLOOR - DECONSTRUCTION PLAN  
1/8" = 1'-0"



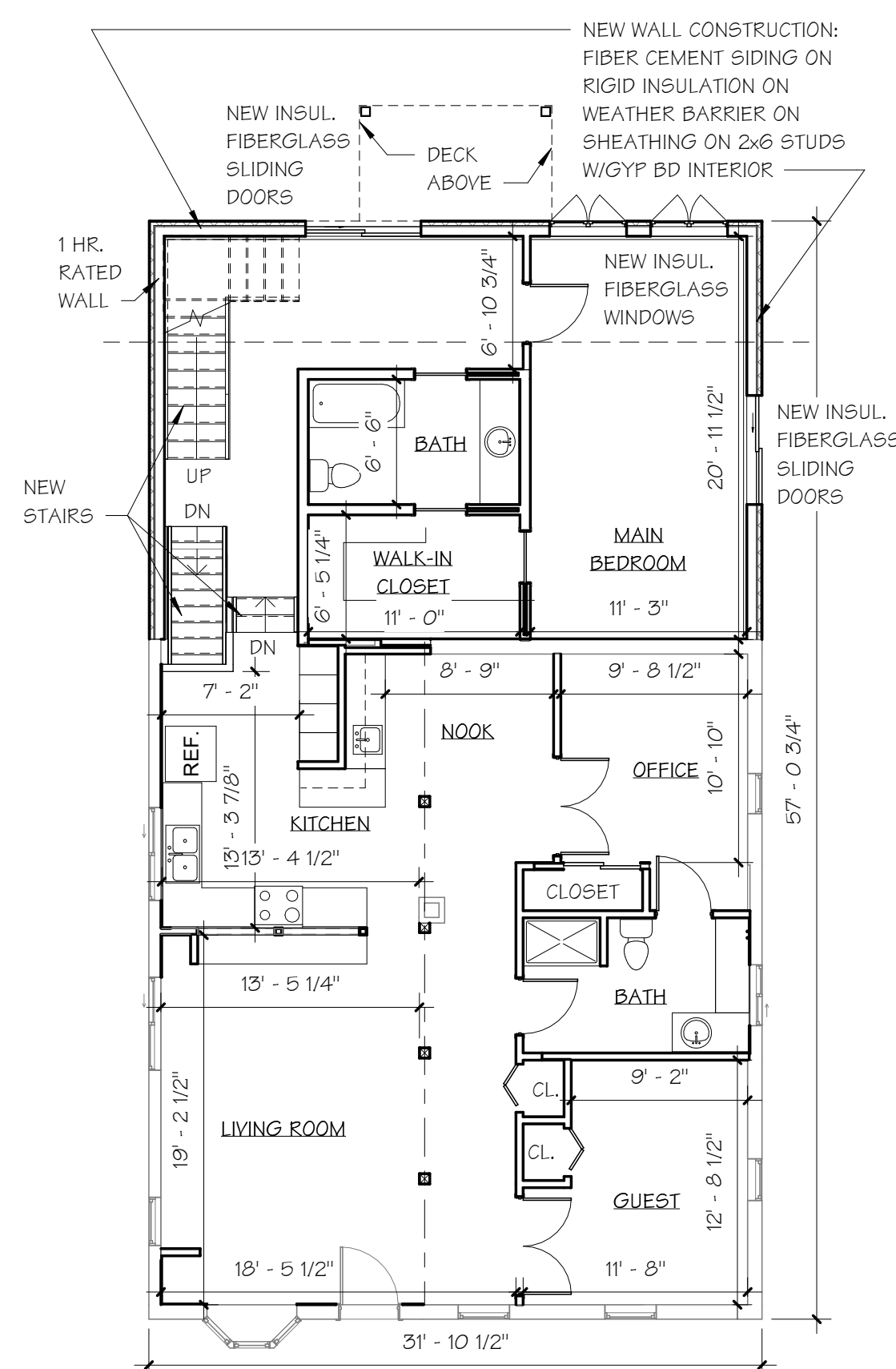
3 UPPER FLOOR - DECONSTRUCTION PLAN  
1/8" = 1'-0"



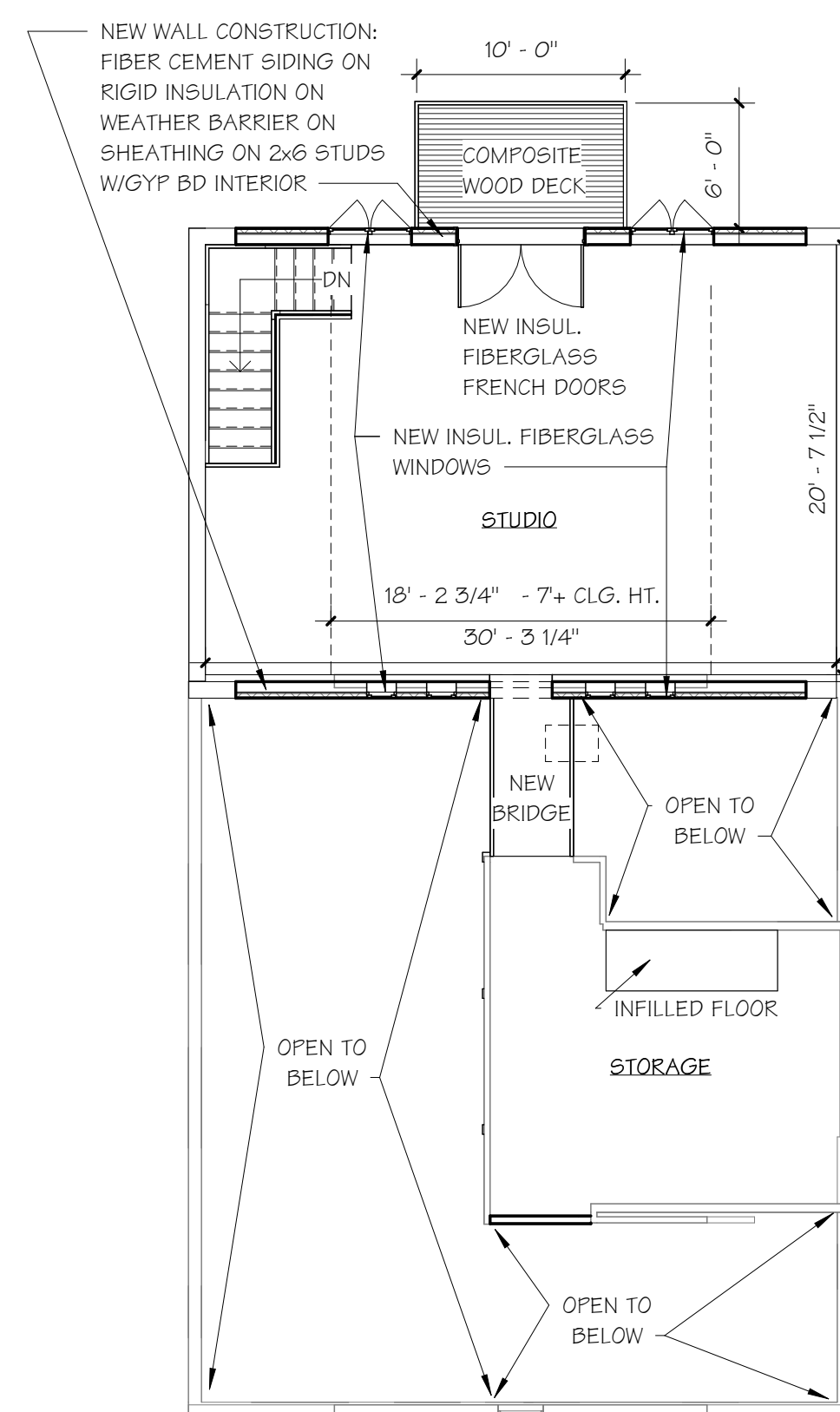
4 ROOF - DECONSTRUCTION PLAN  
1/8" = 1'-0"



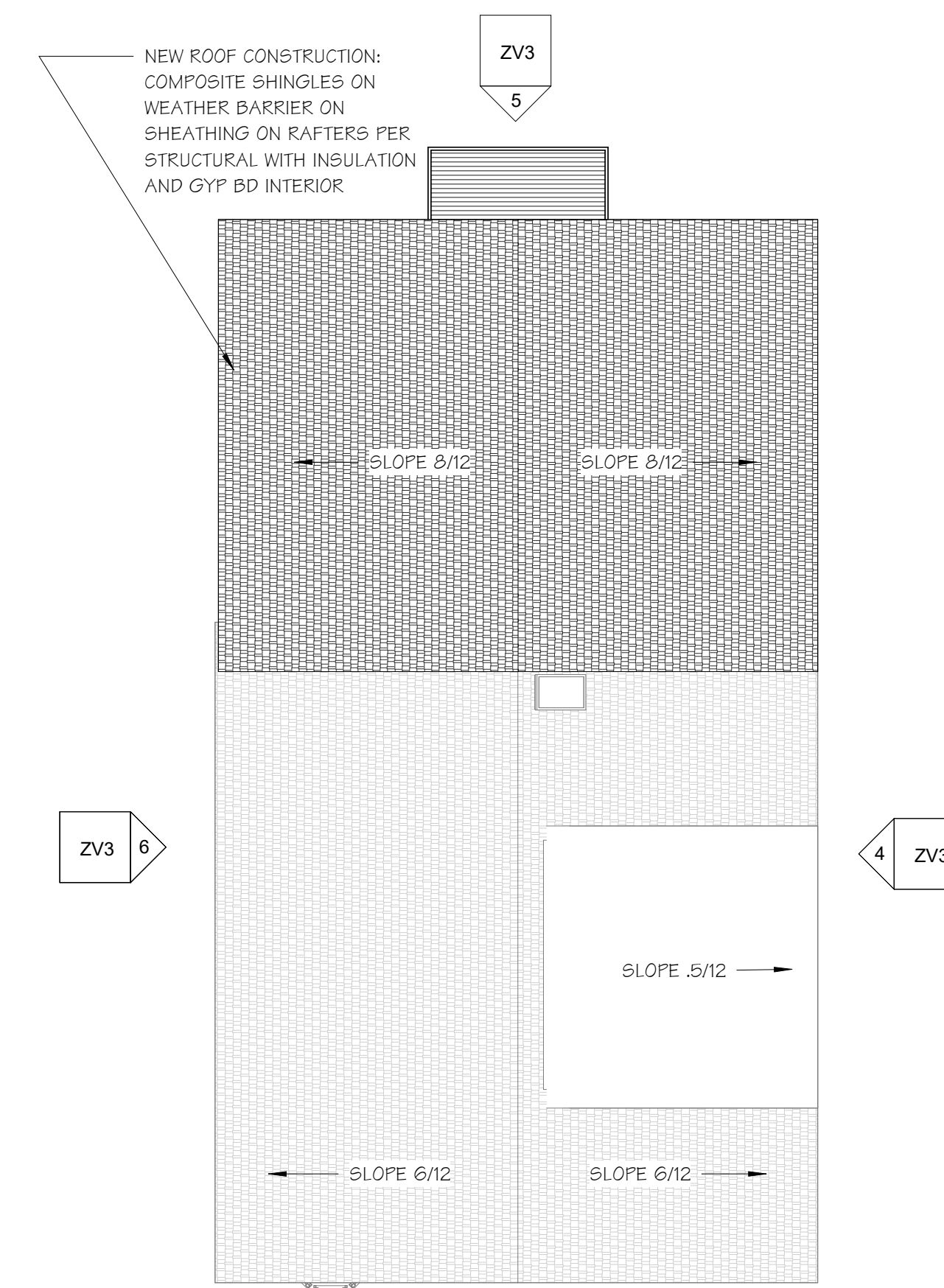
5 PROPOSED BASEMENT PLAN  
1/8" = 1'-0"



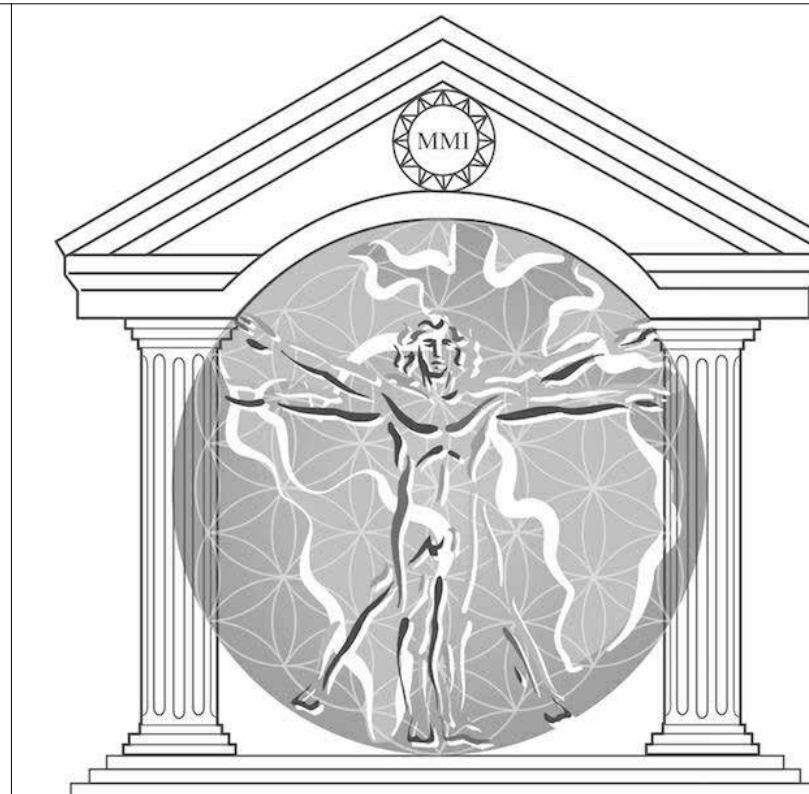
6 PROPOSED MAIN FLOOR PLAN  
1/8" = 1'-0"



7 PROPOSED UPPER FLOOR PLAN  
1/8" = 1'-0"



8 PROPOSED ROOF PLAN  
1/8" = 1'-0"



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Ms. Kim Parsons

Project #: 2410

Date: 9 September 2024

Floor Plans, Deconstruct & Proposed

Sheet Number ZV2

Sheet 2 of 3

